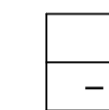
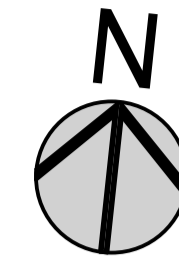
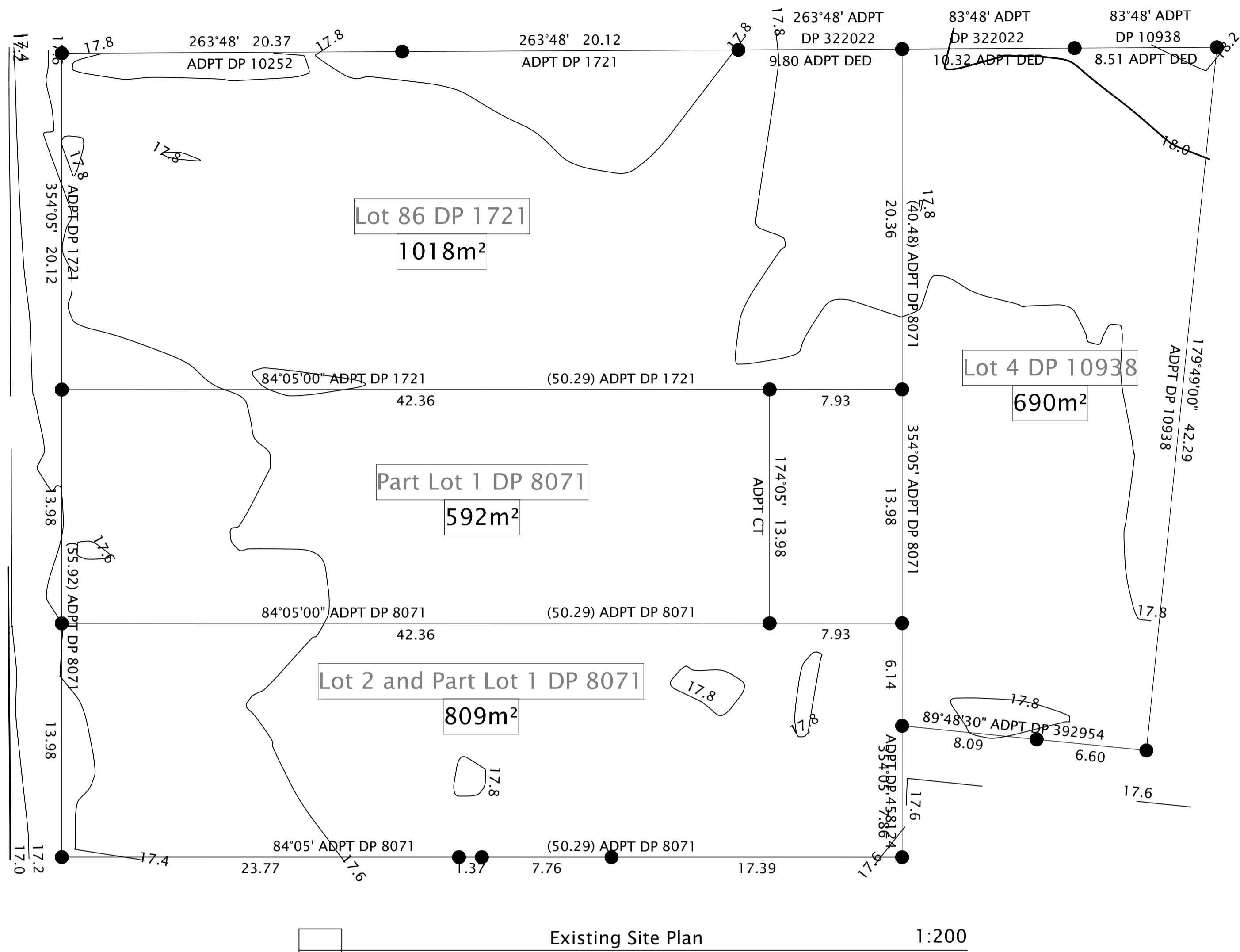


10 x 2 Bed Townhouses
 Williams Corporation
 68-72 Brockworth Pl & 12 Freyberg Ave
 Riccarton
 Christchurch



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 New Homes - Lifestyle Homes - Beach Homes - Land and House Packages
 www.urbandesignnz.co.nz - info@urbandesignnz.co.nz - 300 Richmond Road, Grey Lynn, Auckland

Sheet Index			
Layout ID	Layout Name	Issued	Remark
01	Cover	<input type="checkbox"/>	
02	Existing Site Plans	<input type="checkbox"/>	
03	Proposed Site Plan	<input type="checkbox"/>	
04	Brockworth Units 1-4 Floor Plans	<input type="checkbox"/>	
05	Brockworth Units 5-10 Floor Plans	<input type="checkbox"/>	
06	Brockworth Units 1-4 Elevations	<input type="checkbox"/>	
07	Brockworth Units 5-10 Elevations	<input type="checkbox"/>	



Location Plan



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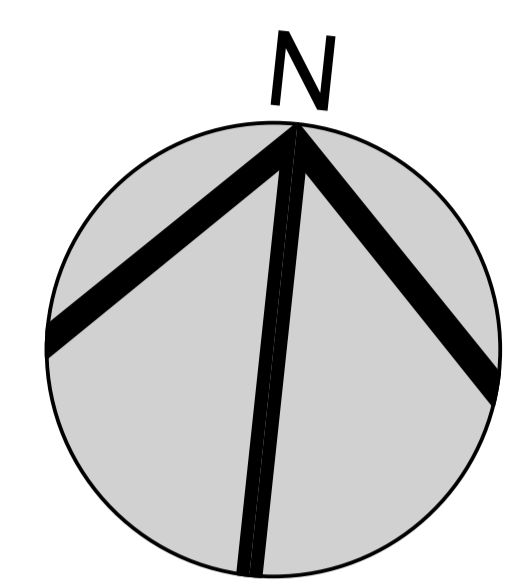
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Revision	Scale	Drawn By	Start Date	Print Date
RC	As Shown @ A1	CC	09-Apr-19	28/06/2019

Client	Address	City
Williams Corporation	68-72 Brockworth Pl & 12 Freyberg Ave	Riccarton
		Christchurch

Title	Sheet
Existing Site Plans	2





SITE AREAS	
TOTAL SITE AREA	1400.5m ² (3116m ²)
BUILDING COVERAGE (over cladding)	399.19m ²
BIKE/GARDEN SHED (1 per unit - 10 x 1.5m ²)	15.00m ²
CARPARKING (carpark, entry & kerbs)	375.94m ²
PATHS (communal & unit access)	93.63m ²
SOFT LANDSCAPING (gardens / outdoor living)	516.74m ²

Floor Area over Framing (Total - ground & first floor) BROCKWORTH BLOCK	
UNIT 1	77.68m ²
UNIT 2	77.78m ²
UNIT 3	77.78m ²
UNIT 4	77.68m ²
UNIT 5	78.48m ²
UNIT 6	78.22m ²
UNIT 7	78.22m ²
UNIT 8	78.22m ²
UNIT 9	78.22m ²
UNIT 10	78.06m ²

- NOTES**
- SITE LIGHTING:**
- all paths to be well lit.
 - lighting to front doors of each unit to light path. These lights to be on a timer for security
- LANDSCAPING:**
- refer to landscaping plan for fencing, surfaces and site structures.
 - landscape plan is conceptual and subject to further design development.
 - contractor to confirm all works with landscape designer and owner.
- SITE SURFACE FINISHES:**
- Limestone chip areas to follow CCC CSS SD609, the top 25mm of APS to be replaced with limestone chip as per Landscape Plan. Below the 75mm of CCC SAP20 or TNZ M/4AP20, add an additional 150mm of AP65.
 - Concrete Pathway: Refer to CCC CSS SD608. 100mm Concrete. 20MPa at 28 days. Reinforce concrete with 663L mesh laid centrally. Saw Cut at 3m centres max ratio of 1 to 3. SD608 is to be founded on 150mm of AP65, compacted to 95% MDD in 150mm layers. Native sub-grade bearing capacity to be inspected by Engineer, to achieve min UBC of 100kPa or CBR of 6.0.
 - all paths to be concrete and have a selected slip resistance to comply with Table 2 D1 / AS1
 - (broomed or exposed aggregate)
- GROUND LEVELS:**
- Contractor to confirm that finished ground levels are formed to allow surface water to run away from the building.
 - min. 150mm to paved / impermeable surfaces
 - min. 225mm to permeable surfaces

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TITLE: Proposed Site Plan

Client: Williams Corporation

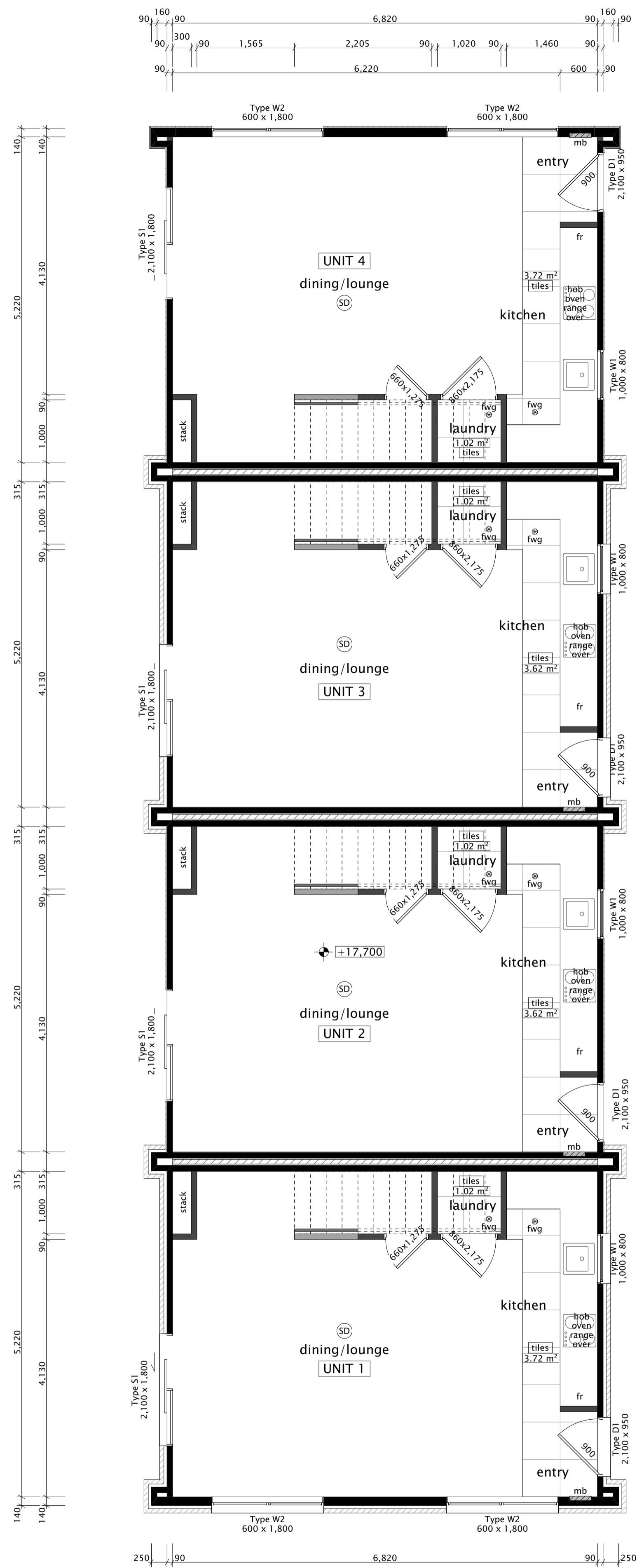
Address: 68-72 Brockworth Pl & 12 Freyberg Ave

Riccarton
Christchurch

Revision Notes:

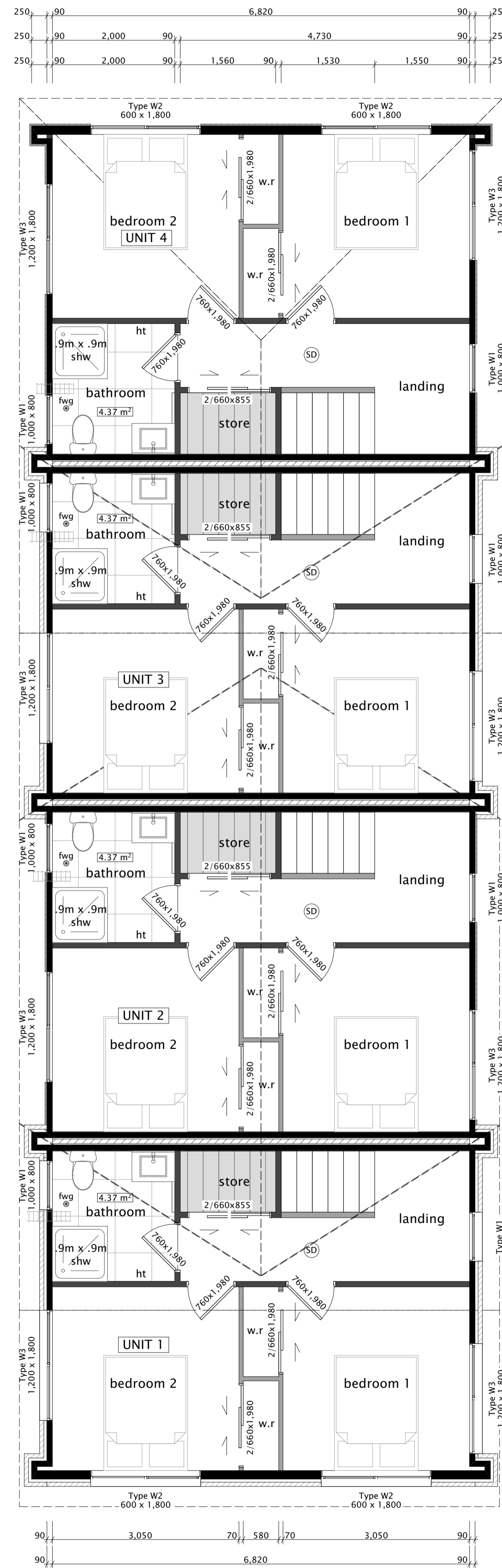
Revision	RC	Sheet
Scale:	As Shown @ A1	3
Drawn By:	CC	
Start Date:	09-Apr-19	
Print Date:	28/06/2019	

Proposed Site Plan 1:100 1:100



Proposed Ground Floor Dimension Plan

1:50



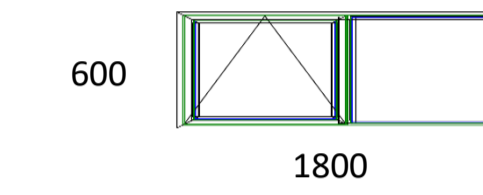
Proposed First Floor Dimension Plan

1:50

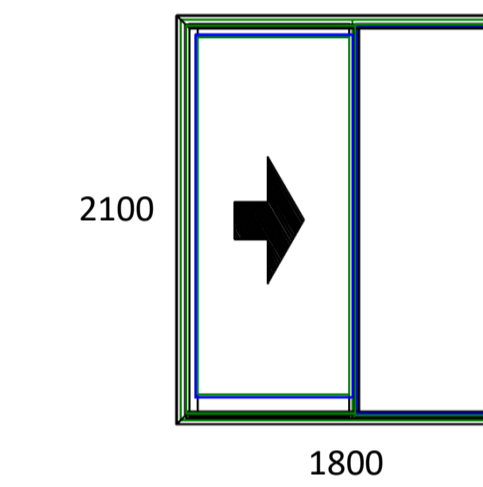
Standard Window Schedule

Sizes are trim or framed opening size.
Clearances will be deducted from this size.
When detailing plans please ensure windows are not tight to an internal corner cladding return.

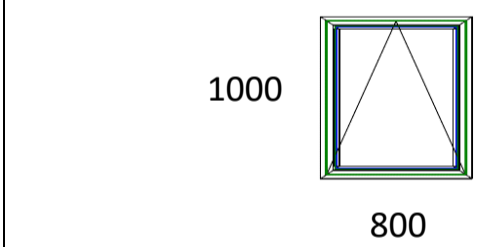
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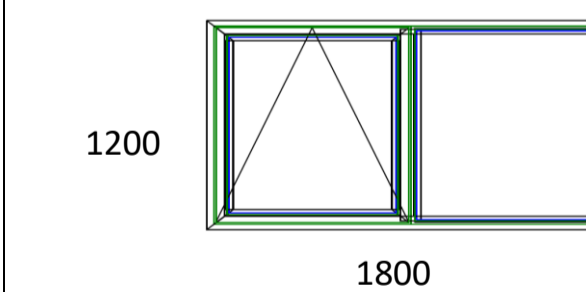
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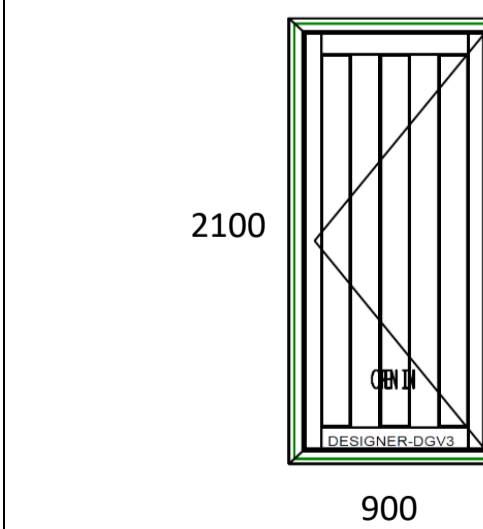
W1



W3



D1



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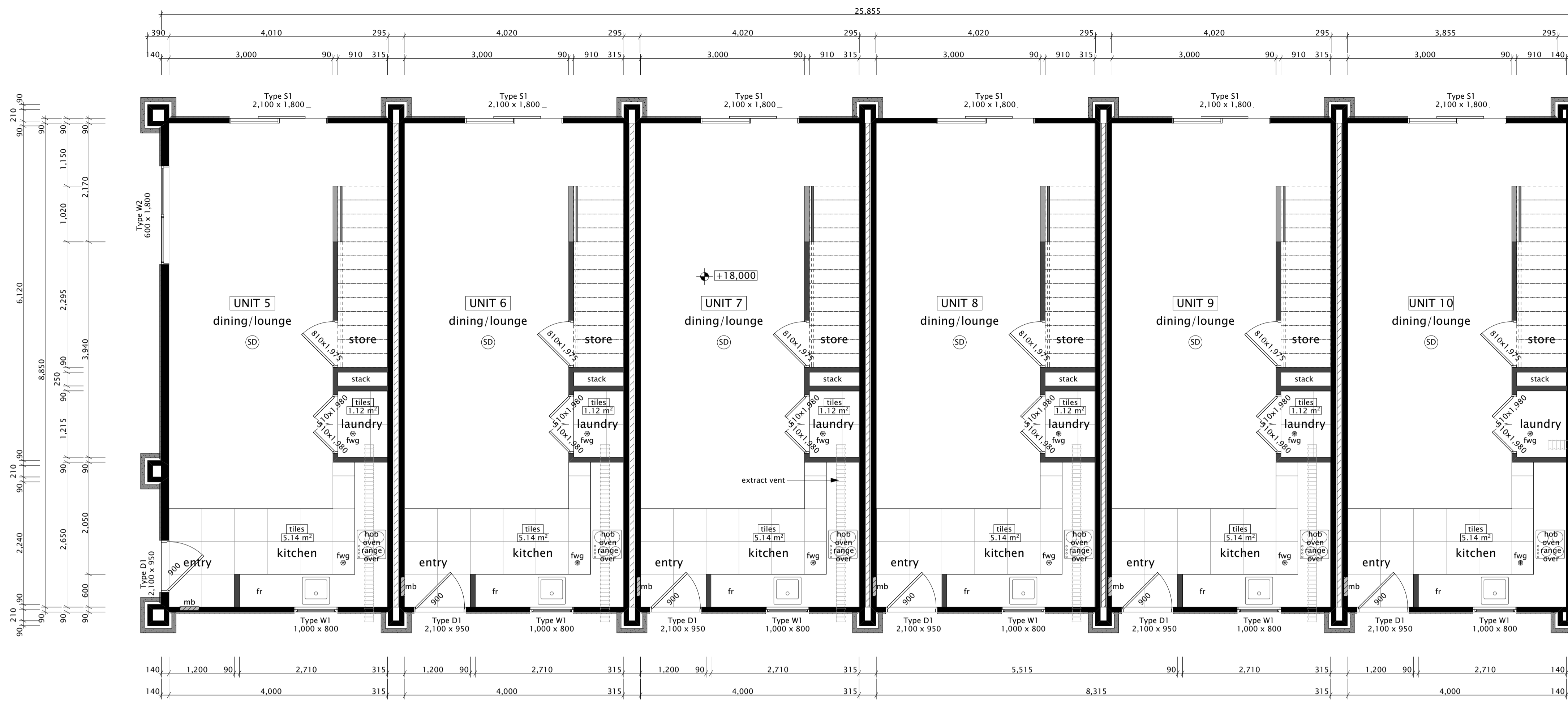
ALL PROPOSED SED CONCRETE WORK TO BE 25 MPa



TITLE: Brockworth Units 1-4 Floor Plans
Client: Williams Corporation
Address: 68-72 Brockworth Pl & 12 Freyberg Ave
Riccarton
Christchurch

Revision Notes:

Revision	RC	Sheet
Scale:	As Shown @ A1	4
Drawn By:	CC	
Start Date:	09-Apr-19	
Print Date:	28/06/2019	



Proposed Ground Floor Dimension Plan 1:50



Proposed First Floor Dimension Plan 1:50

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WILLIAMS CORPORATION 

TITLE: Brockworth Units 5-10 Floor Plans

Client: Williams Corporation

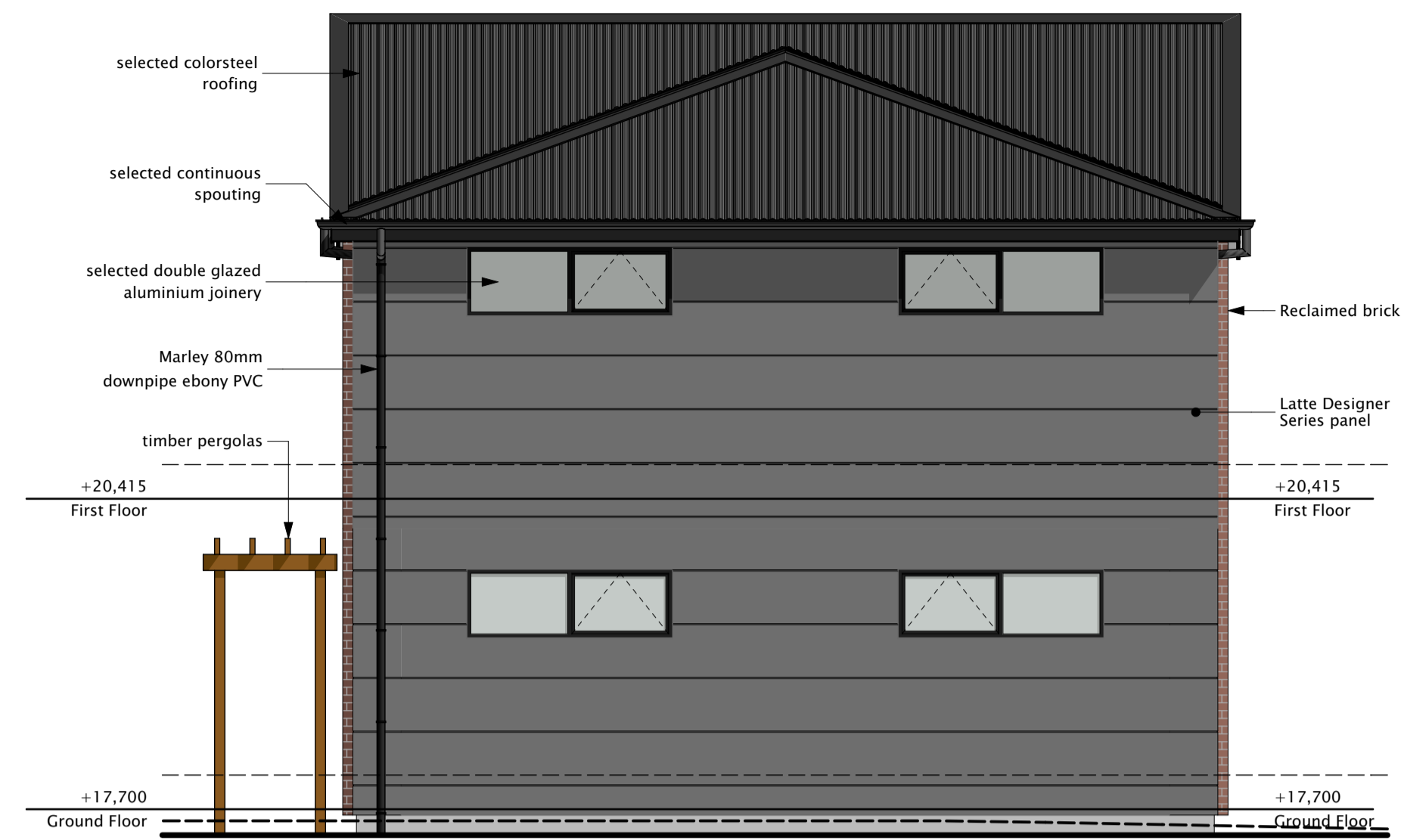
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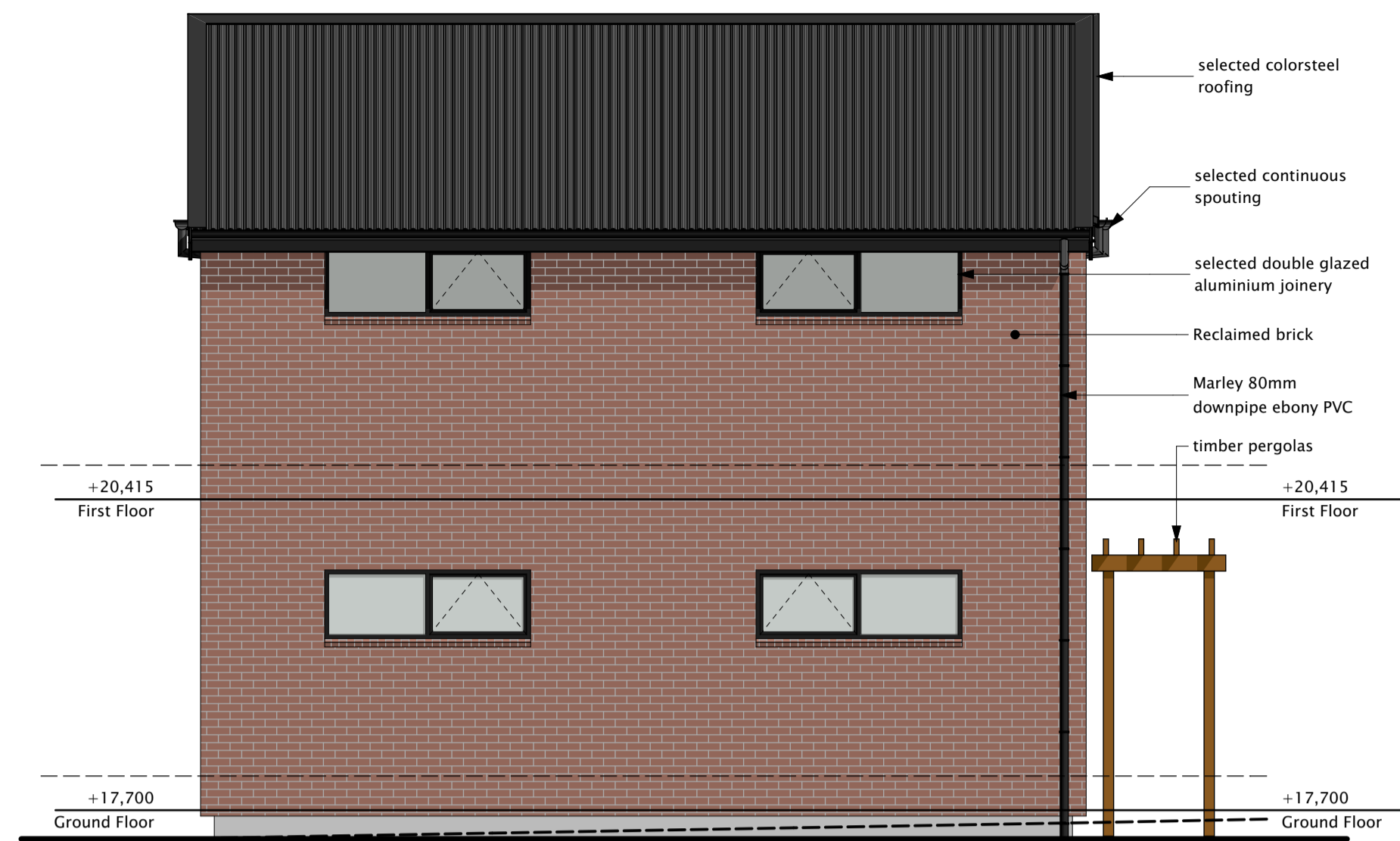
Christchurch

Revision Notes:

Revision	RC	Sheet	5
Scale:	As Shown @ A1		
Drawn By:	CC		
Start Date:	09-Apr-19		
Print Date:	20/06/2019		



Brockworth Units 1-4 North Elevation 1:50



Brockworth Units 1-4 South Elevation 1:50

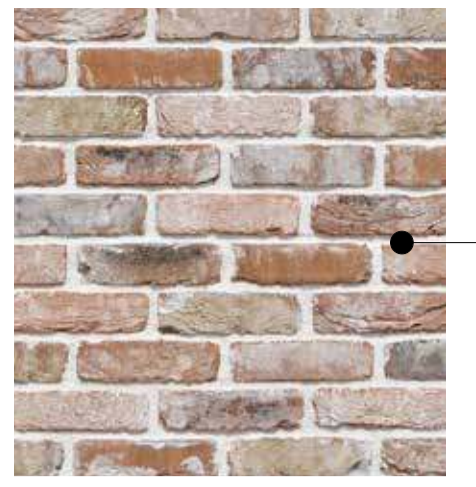


Brockworth Unit 1-4 East Elevation 1:50



Brockworth Unit 1-4 West Elevation 1:50

CLADDING SELECTIONS



San Selmo - Reclaimed Brick

Reclaimed



Designer Series Smooth Panel - Latte

Smooth | Latte



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TITLE: Brockworth Units 1-4 Elevations

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Riccarton
Christchurch

Revision Notes:

Revision RC
Scale: As Shown @ A1
Drawn By: CC
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Sheet

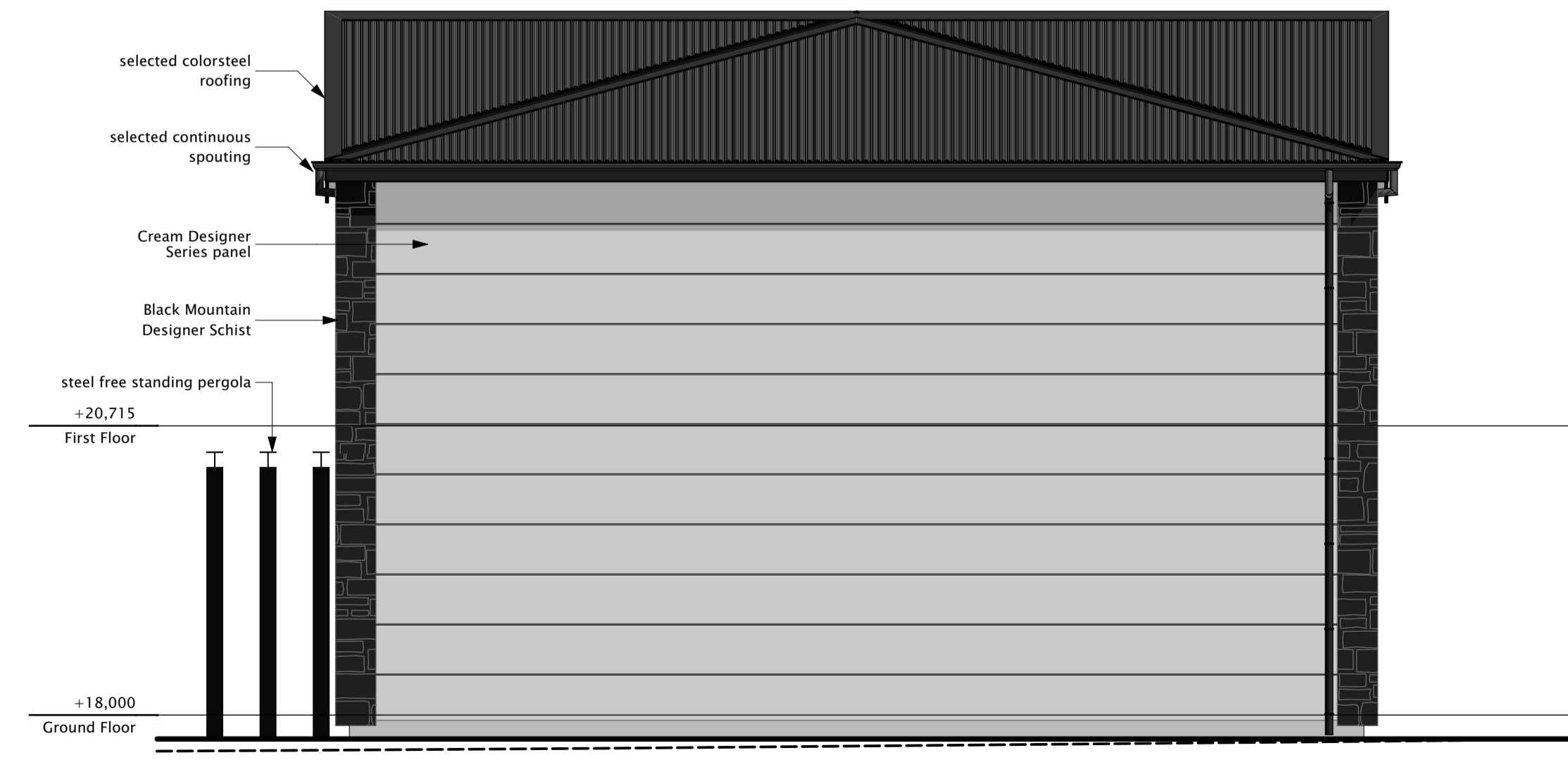
6



Brockworth Units 5-10 North Elevation 1:50



Brockworth Units 5-10 South Elevation 1:50



Brockworth Unit 5-10 East Elevation 1:50

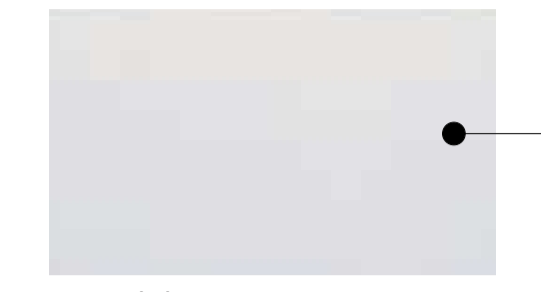


Brockworth Unit 5-10 West Elevation 1:50

CLADDING SELECTIONS



Black Mountain Designer Schist



Designer Series Smooth Panel - Cream

Smooth I Cream



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