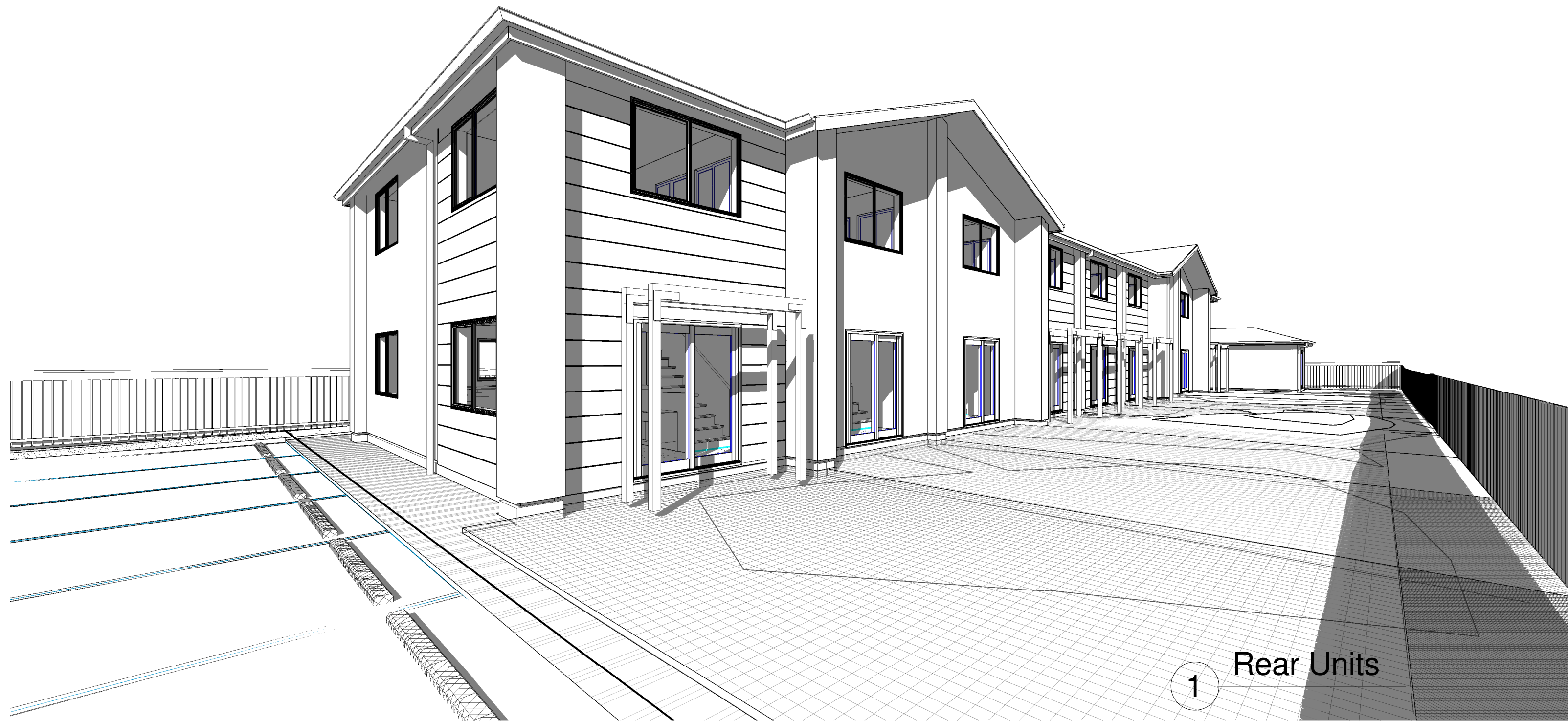


11 x 2 Bed Townhouses & 1 Bed Unit
 Williams Corporation
 48 - 50 Ward Street
 Addington, Christchurch



1 Rear Units



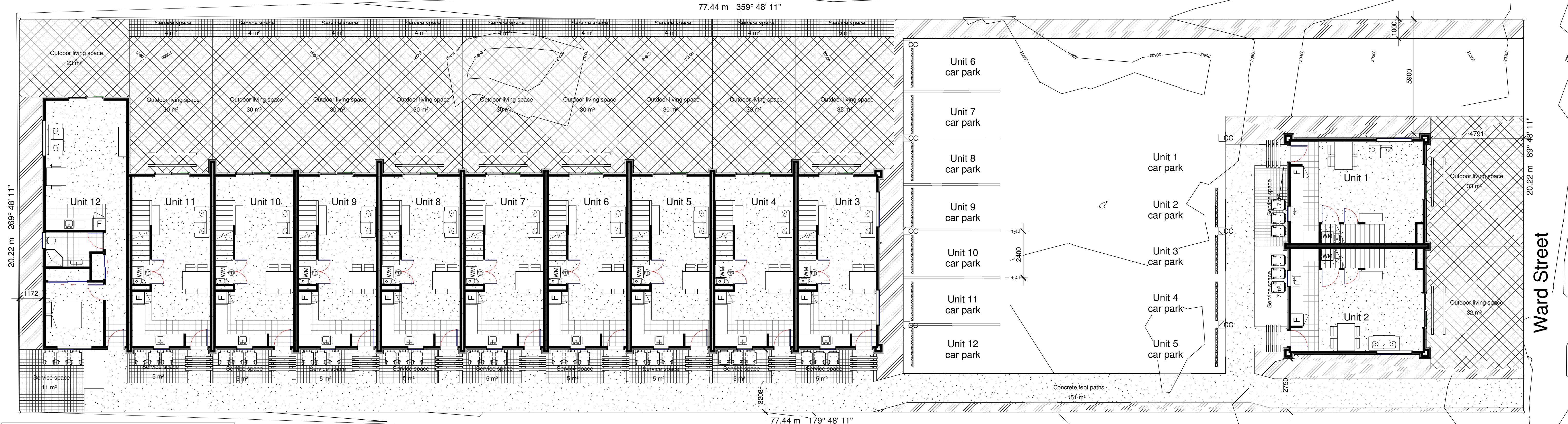
3 3D Street View

Sheet List		
Sheet Number	Sheet Name	Current Revision
A1.0	Cover Sheet	
A1.1	Site Plan	
A1.2	Landscape Plan	
A2.0	Front Unit Floor Plans	
A2.1	Rear Units Floor Plans	
A3.0	Front Unit Elevations	
A3.1	Rear Unit Elevations	

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Revision	Page Title	Cover Sheet	Sheet
Scale	A1 page size (Half scale @ A3)	Project	Project Name
Issue Date	09/04/19	Address	48-50 Ward Street
Time Stamp	18/09/2019 10:01:30 am		A1.0



Site Area key			
Type	Area	Keystone	Image
Concrete foot paths	151 m ²		
Drive way	348 m ²		
Landscape areas	102 m ²	8.332	
Outdoor living space	362 m ²		
Service space	105 m ²		
Grand total: 40	1068 m ²		

1 Site Plan
1 : 100

SCOPE OF WORKS:

COUNCIL:
 ZONE : Residential Medium Density Zone
 HEIGHT (max. 8m) : COMPLIANT
 SETBACKS : COMPLIANT
 RECESSION PLANES :

ZONES NZS 3604:2011:
 WIND ZONE : Low
 WIND REGION :
 EARTHQUAKE ZONE : 2
 EXPOSURE ZONE :
 SNOW ZONE :

AREAS:
 AREA : 1566m²
 LEVEL 1 (over Foundation) : 495m²
 SITE COVERAGE : 31.6%

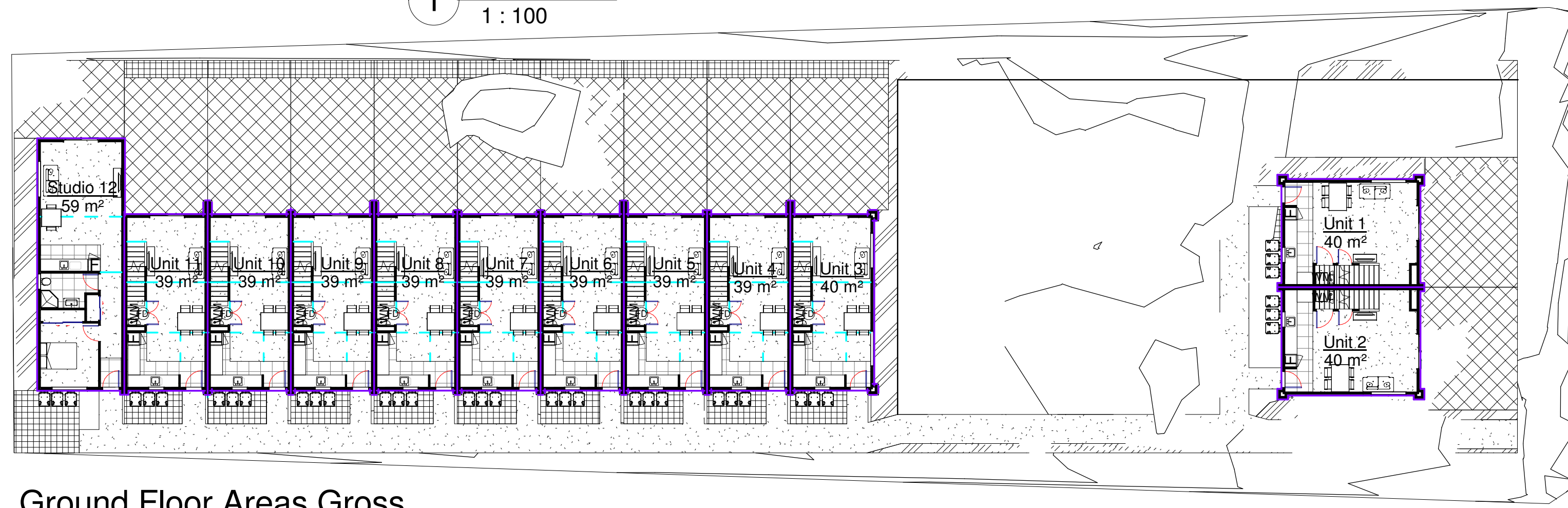
SET OUT NOTES:
 Contractor must independently verify all boundaries and dimensions prior to set out.
 All set out dimensions are in horizontal plane and do not take into account varying ground levels.

HAZARD:
 New construction area to be fully fenced before commencing construction. All work to comply with NZBC clause F5/AS1 part 1.

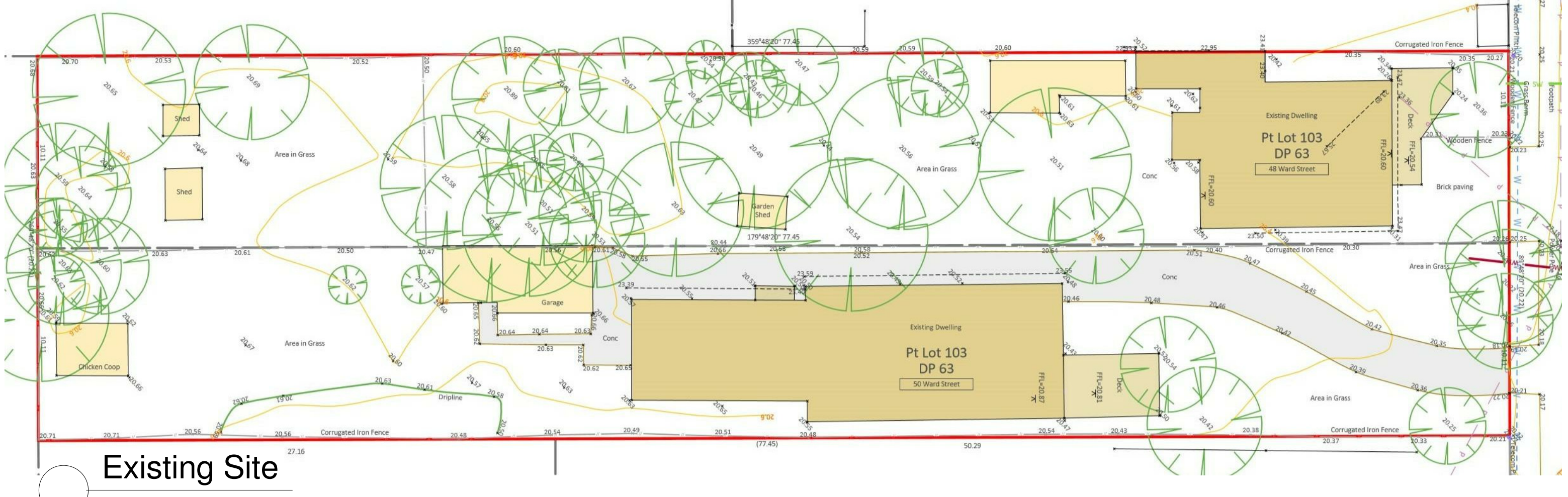
EROSION AND SEDIMENT CONTROL:
 All erosion and sediment control measures to be installed prior to commencement of earthworks to comply with ECAN Erosion and Sediment Control Guidelines for Small Sites.
 The contractor is responsible for checking that the sediment controls are properly maintained and correctly positioned. To be inspected each working day and maintained in good working order.
 Top soil stockpile should be close to works, limit amount of material supplied to only what is needed. Cover stock piles with waterproof covers.
 All stockpiles and site waste are to be stored so that the silt fence/ straw bales will control any run off from the site.
 Physically remove any sedimentation from the driveway and/or street. Do not wash into catchpits. If necessary use Filtrix Sock or similar around catch pits.
 Stabilise disturbed ground as soon as practical.
 The silt fence/ straw bales to remain in place until site surface is grassed or stabilised.

All weather site access to consist of 150x200mm of crushed aggregate on geotextile filter cloth with 2m bund run off diversion @ site entry. All with cross slope to drain to sediment trap (where applicable).

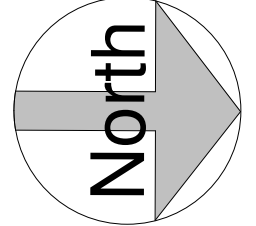
Footpaths to comply with antislip requirements of NZBC D1/AS1 table 2



2 Ground Floor Areas Gross
(Over Cladding)
1 : 200

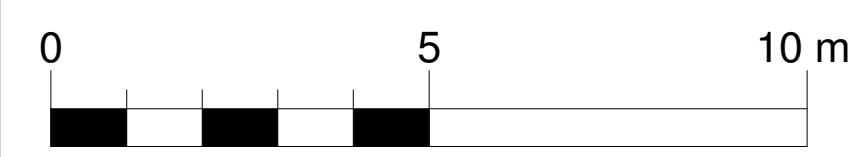


Existing Site
1 : 200



Lower Area Schedule (Gross Building)		
Area	Name	Level
59 m ²	Studio 12	Rear Unit Ground Floor
40 m ²	Unit 1	Rear Unit Ground Floor
40 m ²	Unit 2	Rear Unit Ground Floor
40 m ²	Unit 3	Rear Unit Ground Floor
39 m ²	Unit 4	Rear Unit Ground Floor
39 m ²	Unit 5	Rear Unit Ground Floor
39 m ²	Unit 6	Rear Unit Ground Floor
39 m ²	Unit 7	Rear Unit Ground Floor
39 m ²	Unit 8	Rear Unit Ground Floor
39 m ²	Unit 9	Rear Unit Ground Floor
39 m ²	Unit 10	Rear Unit Ground Floor
39 m ²	Unit 11	Rear Unit Ground Floor
494 m ²		
Upper Area Schedule (Gross Building)		
Area	Name	Level
40 m ²	Unit 1	Rear Unit 1st Floor
40 m ²	Unit 2	Rear Unit 1st Floor
40 m ²	Unit 3	Rear Unit 1st Floor
39 m ²	Unit 4	Rear Unit 1st Floor
39 m ²	Unit 5	Rear Unit 1st Floor
39 m ²	Unit 6	Rear Unit 1st Floor
39 m ²	Unit 7	Rear Unit 1st Floor
39 m ²	Unit 8	Rear Unit 1st Floor
39 m ²	Unit 9	Rear Unit 1st Floor
39 m ²	Unit 10	Rear Unit 1st Floor
40 m ²	Unit 11	Rear Unit 1st Floor
436 m ²		

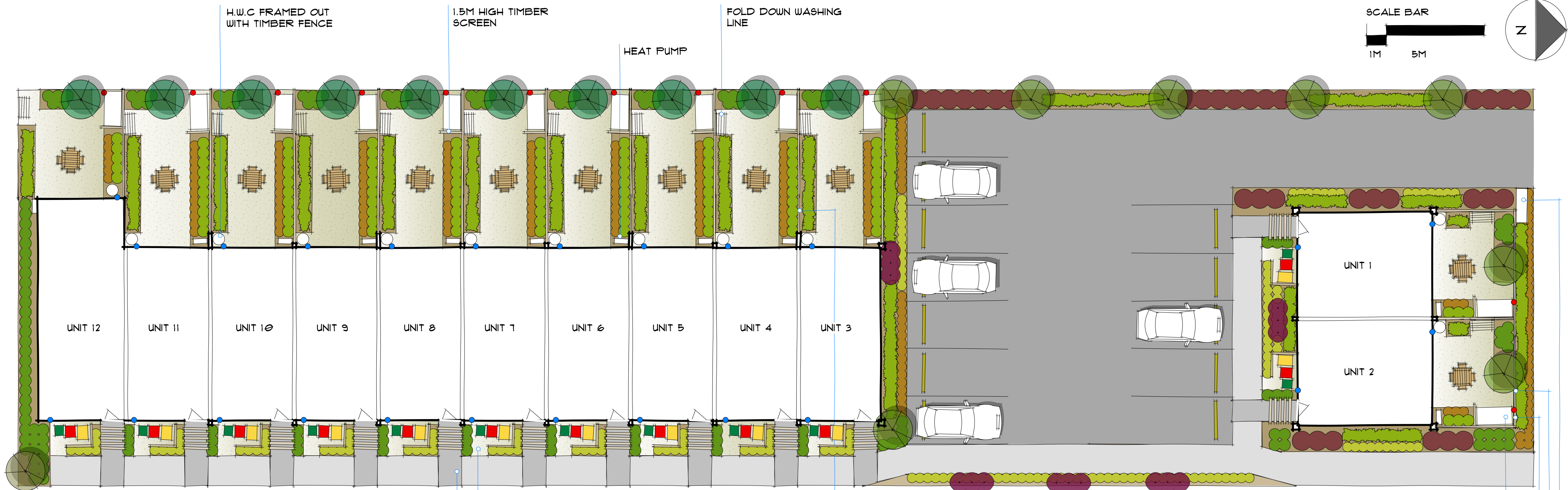
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Revision	
Scale	A1 page size (Half scale @ A3)
Issue Date	09/04/19
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Page Title	Site Plan
Project	Project Name
Address	48-50 Ward Street

Sheet
A1.1



PLANT SCHEDULE			
ID	BOTANICAL NAME	QTY	GRADE
LT	LOMANDRA "LIME TUFF"	90	2 LITRE
LI	LIBERTIA IXODES "TAUPO BLAZE"	180	2 LITRE
GB	GRISELINEA "BROADWAY MINT"	130	10 LITRE
LL	LOMANDRA "LITTLE CON"	130	2 LITRE
PE	PHORMIUM "EMERALD GREEN"	136	2 LITRE
PF	PSEUDOPANAX FEROX	15	10 LITRE
PR	PLAGIANTHUS REGIUS	1	45 LITRE
CE	CORNUS "EDDIES WHITE WONDER"	10	80 LITRE
PA	PRUNUS AMANOGAWA	8	80 LITRE
PD	PHORMIUM "DUSKY CHIEF"	33	2 LITRE

KEY	
OUTDOOR POWER POINT (1 EACH UNIT)	●
OUTDOOR WATER TAP (2 EACH UNIT)	●
NOTE: ELECTRICITY SUPPLIED TO ALL CAR PARKS.	

GENERAL NOTES	
TOTAL AREA OF SITE	1070.00 M2
TOTAL AREA OF CONCRETE	160.12 M2
TOTAL AREA OF PLANTED GARDEN BED	289.20 M2
TOTAL AREA OF CHIP	295.35 M2

BIN AREA INSIDE 1.2M NATURAL TIMBER FENCE FINISHED IN LOOSE CHIP SURFACE

OXIDE CONCRETE PATHWAY FEATURE INTO EACH UNIT WITH PERGOLA CONSTRUCTED FROM NATURAL TIMBER

1.8M SOLID TIMBER FENCE BETWEEN UNITS

STORAGE / BIKE SHED



SLOPING ROOF
WIDTH: 1530MM,
DEPTH: 785MM,
WALL HEIGHT
FRONT: 1830MM,
BACK: 1710MM,
AREA: 1.19M2





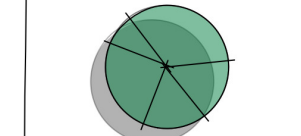
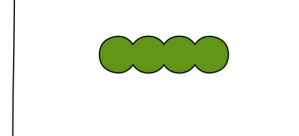
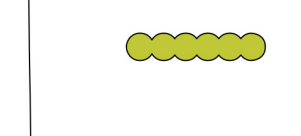
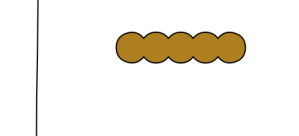


1.8M SOLID TIMBER FENCE

1.8M POOL STYLE FENCE

2 X 6 X "URBAN" FRONT OPENING LETTER BOXES SUPPLIED BY BOX DESIGN. 250 W X 190 H X 400 D ON DRESSED TIMBER FENCE (AS PER PHOTO).

PLANT LIST

 PHORMIUM "DUSKY CHIEF"	 PLAGIANTHUS REGIUS	 PRUNUS AMANOGAWA	 PSEUDOPANAX FEROX	 GRISELINEA "BROADWAY MINT"	 LOMANDRA "LIME TUFF"	 CORNUS "EDDIES WHITE WONDER"	 PHORMIUM "EMERALD GREEN"	 LOMANDRA "LITTLE CON"	 LIBERTIA IXODES "TAUPO BLAZE"
									



NOTE
THIS PLAN IS AT A CONCEPTUAL LEVEL SUBJECT TO FURTHER DESIGN DEVELOPMENT. IT IS NOT TO BE SCALED OFF OR USED FOR ANY CONSTRUCTION PURPOSES.

LANDSCAPE PLAN FOR CONSENT
48 - 50 WARD STREET, CHRISTCHURCH

SCALE:	1: 100 @ A1
DATE:	3 SEPTEMBER 2019
PAGE:	1 OF 1
REVISION:	-
DRAWN BY:	D. GREIG



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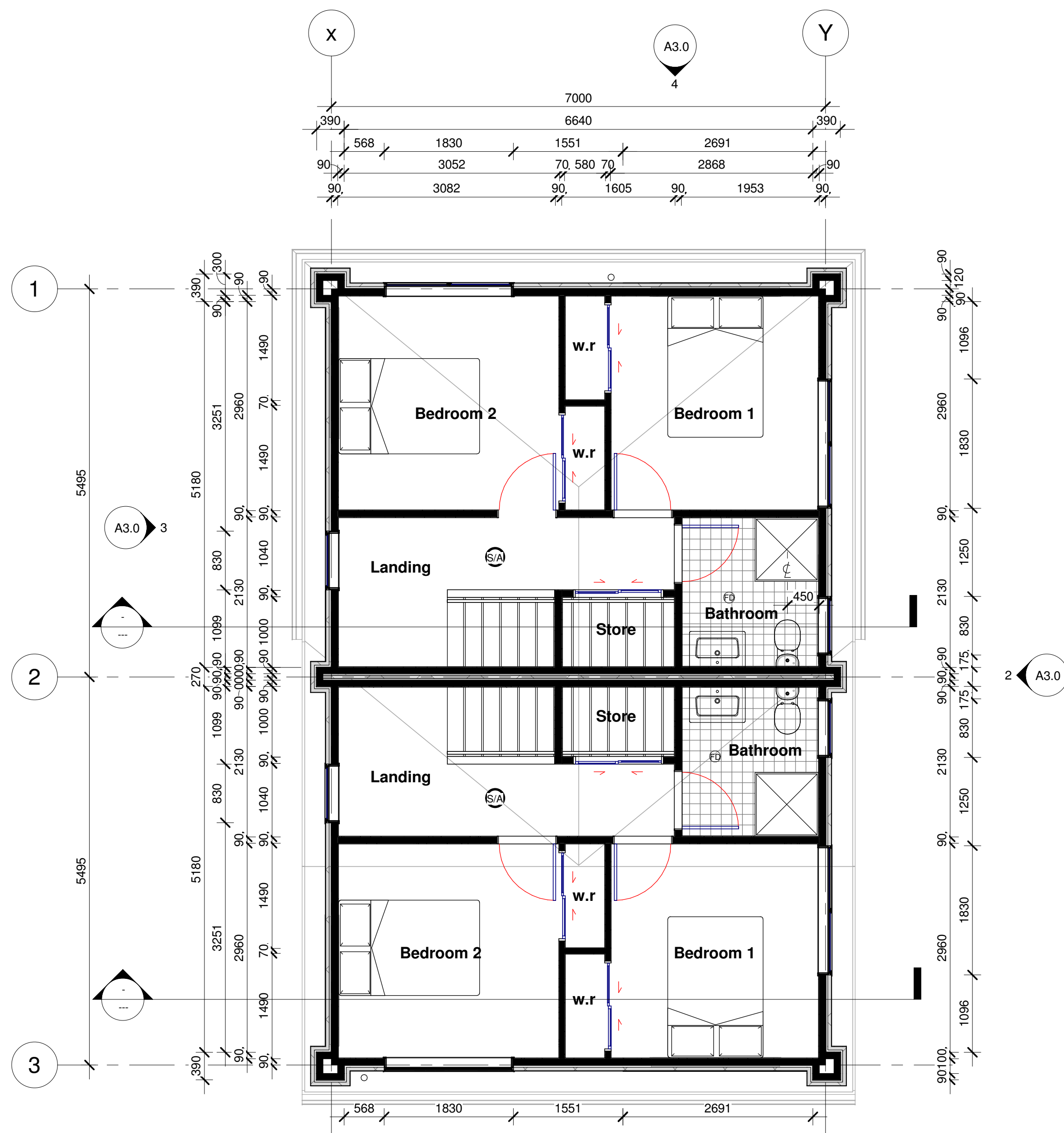


Revision	
Scale	A1 page size (Half scale @ A3)
Issue Date	09/04/19
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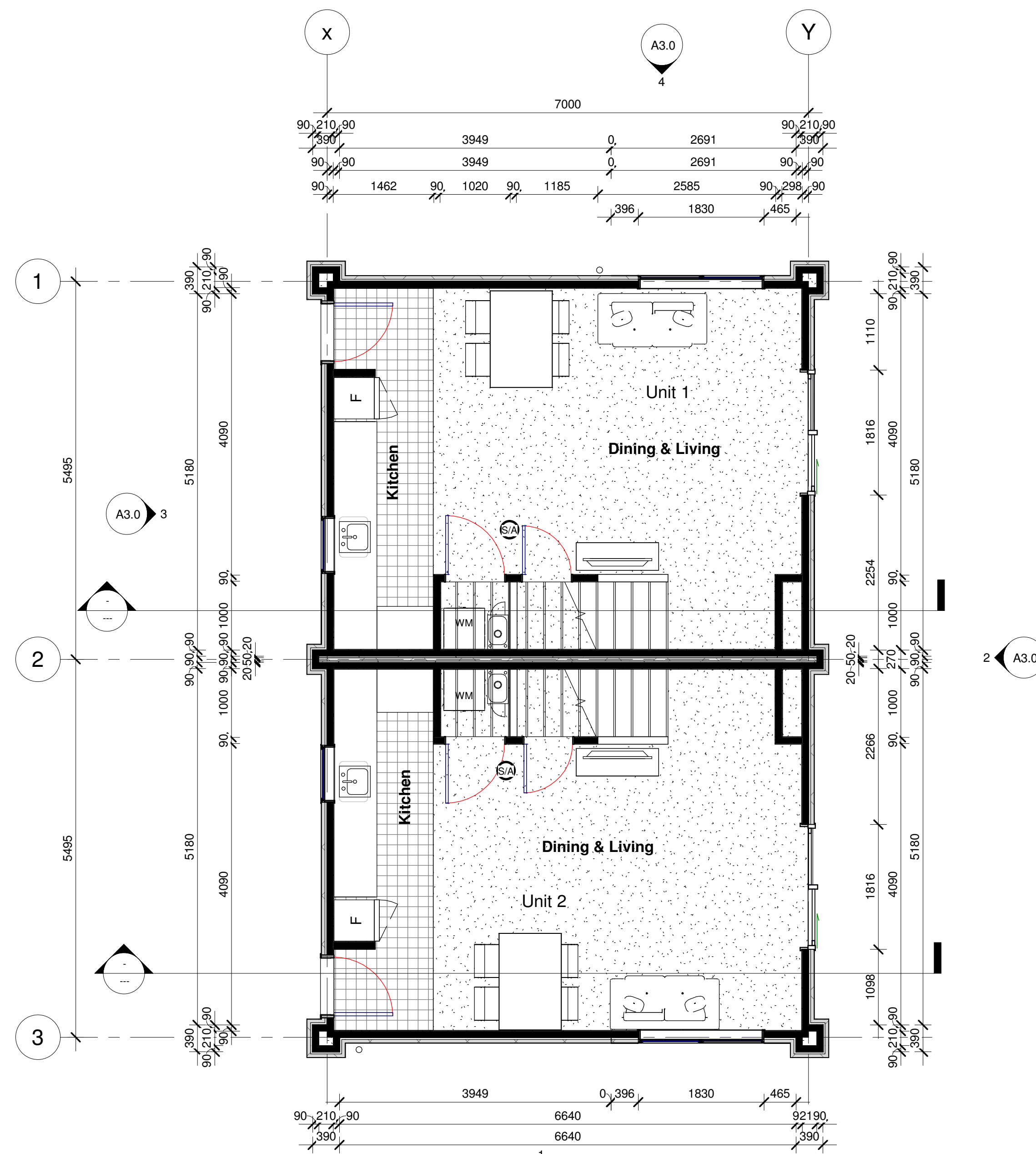
Page Title	Landscape Plan
Project	Project Name
Address	48-50 Ward Street

Sheet

A1.2



1 Front Unit 1st Floor
1 : 50



2 Front Unit Ground Floor
1 : 50

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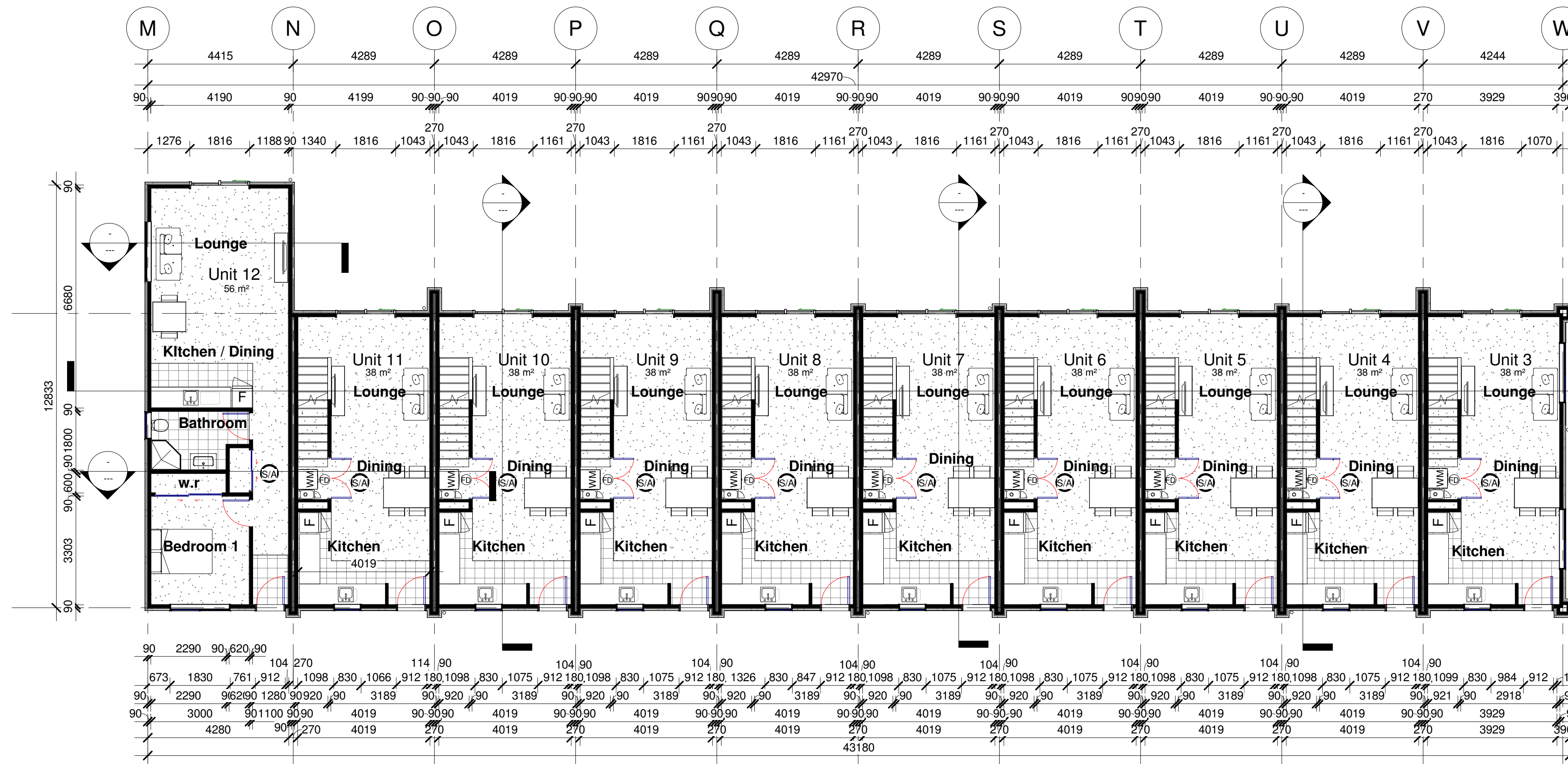


Revision	
Scale	A1 page size (Half scale @ A3)
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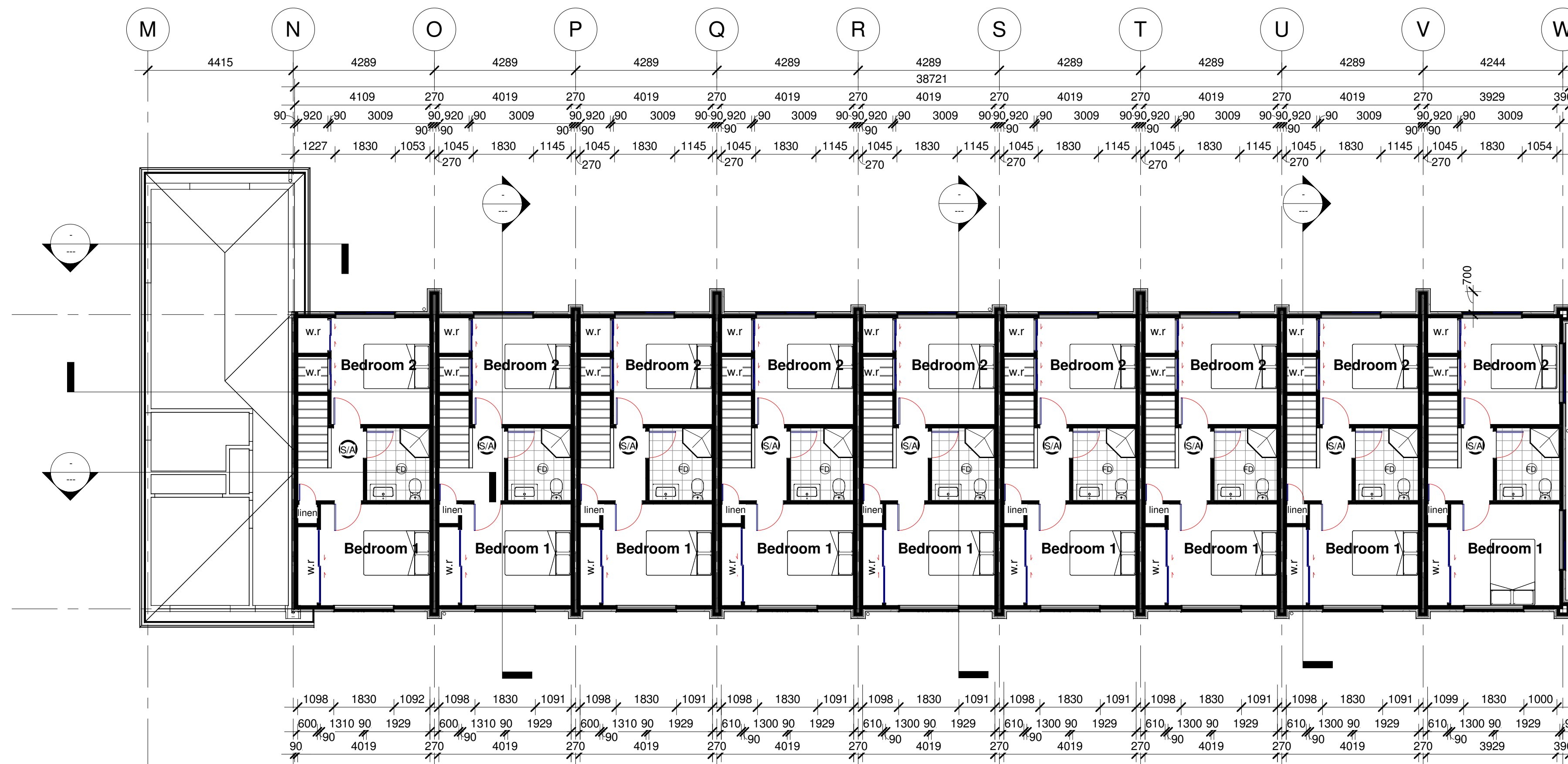
Page Title	Front Unit Floor Plans
Project	Project Name
Address	48-50 Ward Street

Sheet

A2.0



2 Rear Unit Ground Floor
1 : 100



1 Rear Unit 1st Floor
1 : 100

Lower Area Schedule (Gross Building)		
Area	Name	Level
59 m ²	Studio 12	Rear Unit Ground Floor
40 m ²	Unit 1	Rear Unit Ground Floor
40 m ²	Unit 2	Rear Unit Ground Floor
40 m ²	Unit 3	Rear Unit Ground Floor
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39 m ²	Unit 10	Rear Unit Ground Floor
39 m ²	Unit 11	Rear Unit Ground Floor
494 m ²		
Upper Area Schedule (Gross Building)		
Area	Name	Level
40 m ²	Unit 1	Rear Unit 1st Floor
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40 m ²	Unit 3	Rear Unit 1st Floor
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436 m ²		

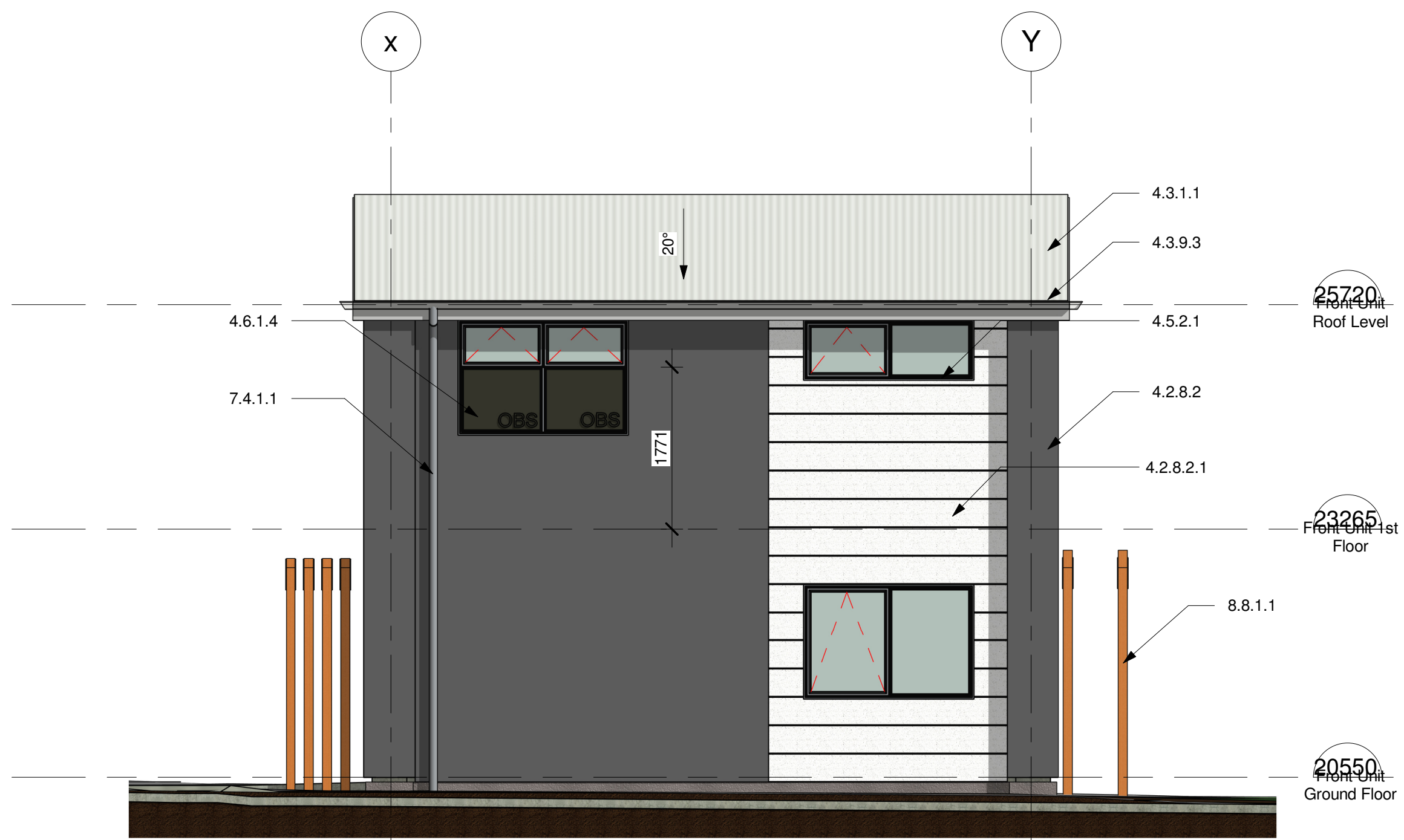
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Revision
 Scale A1 page size (Half scale @ A3)
 Issue Date 09/04/19
 Time Stamp 18/09/2019 10:01:36 am

Page Title Rear Units Floor Plans
 Project Project Name
 Address 48-50 Ward Street

Sheet
A2.1



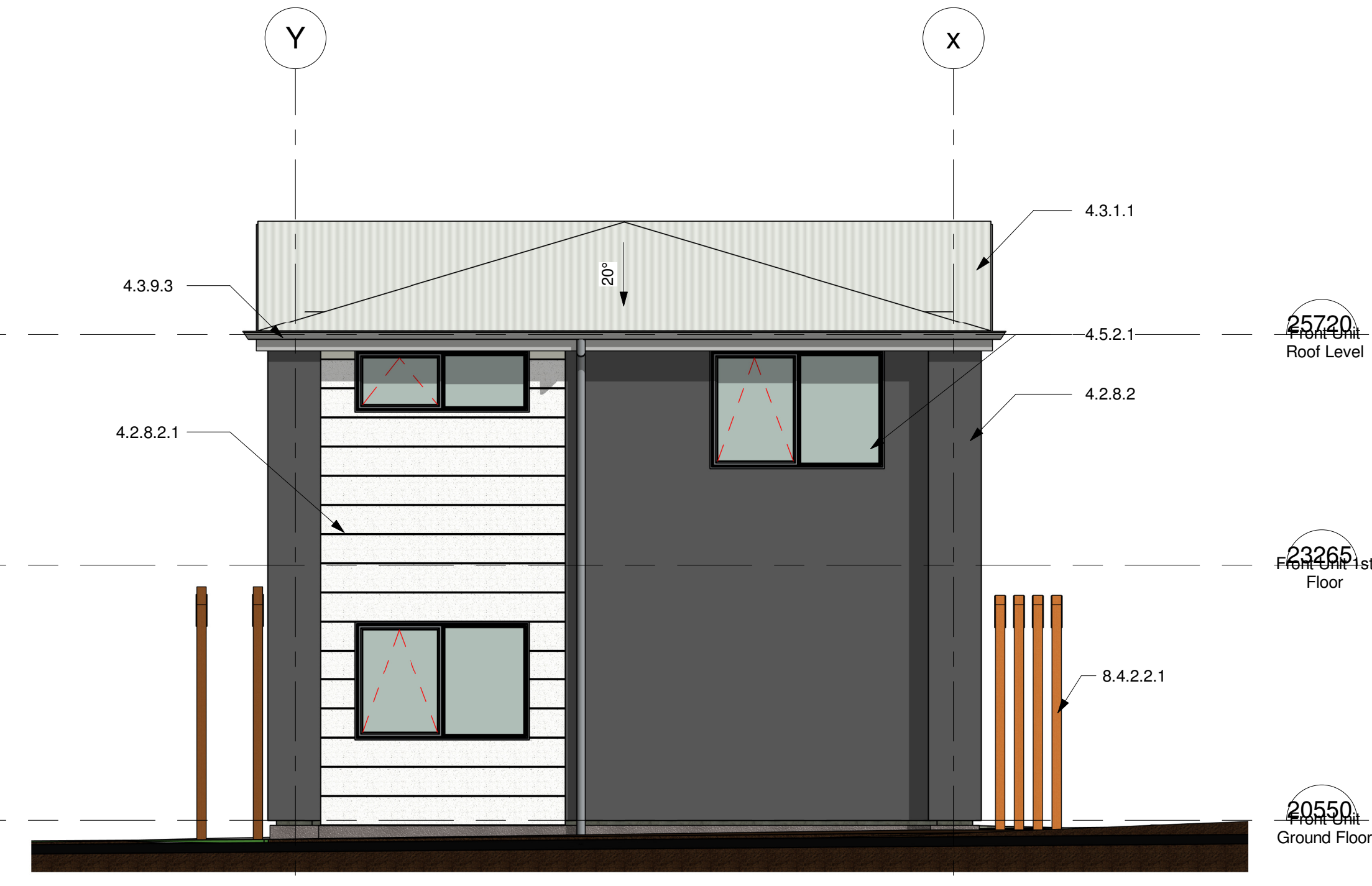
1 East Front Units
1 : 50



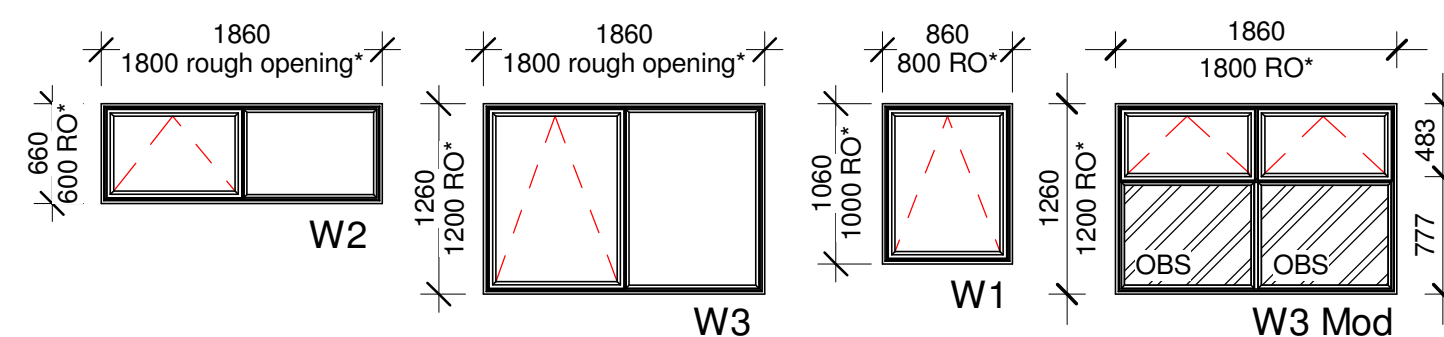
2 North Front Units
1 : 50



3 South Front Units
1 : 50



4 West Front Units
1 : 50



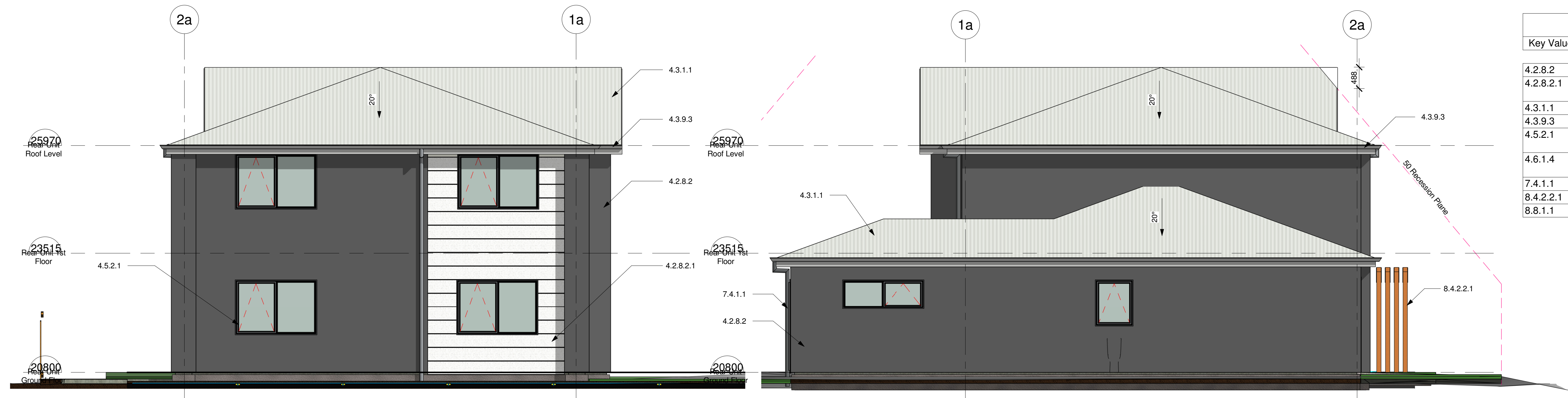
Viewed from outside
RO sizes take precedence over
Window & Door Key
1 : 50

Window Schedule						
Model	Height	Width	Rough Opening (Height)	Rough Opening (Width)	Lintel Height	Count
W1	1030	830	1000	800		16
W2	630	1830	600	1800		5
W3	1230	1830	1200	1800		19
W3 MOD	1230	1830	1200	1800		10
Grand total: 50						50

Elevation Key Notes	
Key Value	Keynote Text
4.2.8.2	Selected Hebel wall panel with plaster render
4.2.8.2.1	Selected Hebel wall panel with routed groove pattern and plaster render
4.3.1.1	Selected coloursteel longrun roofing
4.3.9.3	Selected coloursteel fascia and gutter
4.5.2.1	Selected double glazed powder coated aluminium joinery
4.6.1.4	Lower glazed panels to be obscure to meet requirements for resource consent
7.4.1.1	Selected coloursteel 80mm downpipes
8.4.2.2.1	Marcocarpa pergola frames. Free standing
8.8.1.1	

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Keynote Legend	
Key Value	Keynote Text
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7.4.1.1	Selected coloursteel 80mm downpipes
8.4.2.2.1	Marcocarpa pergola frames. Free standing
8.8.1.1	



1 North Rear Units
1 : 50

3 South Rear Units
1 : 50



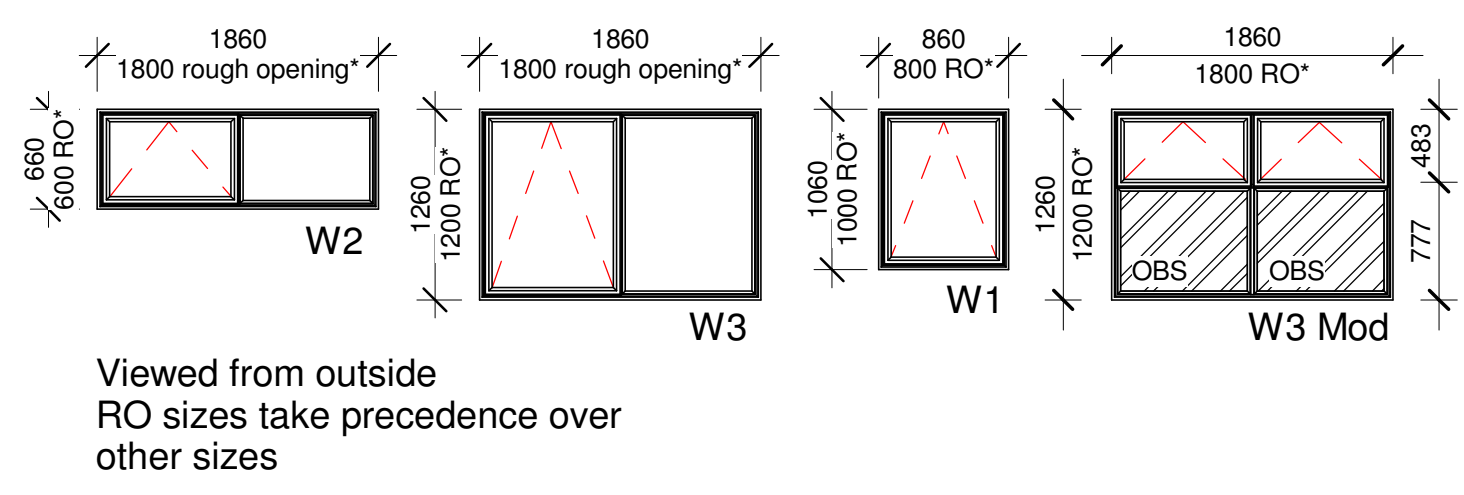
2 East Rear Units
1 : 100



4 West Rear Units
1 : 100

Colour Schedule "The Husky"

- Hebel Base Colour
Dulux Franz Josef Double
- Hebel Feature Colour
Resene Half Black White
- Silver Pearl
Windows
- Gull Grey ????
Roof
Fascia & Gutter
Downpipes
- Soffits
Resene Half Black White
- Pergola features
Marcocarpa natural timber
Galvanized steel brackets
painted black



Window Schedule						
Model	Height	Width	Rough Opening (Height)	Rough Opening (Width)	Lintel Height	Count
W1	1030	830	1000	800		16
W2	630	1830	600	1800		5
W3	1230	1830	1200	1800		19
W3 MOD	1230	1830	1200	1800		10
Grand total:						50

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Revision	
Scale	A1 page size (Half scale @ A3)
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Page Title	Rear Unit Elevations
Project	Project Name
Address	48-50 Ward Street

Sheet
A3.1