

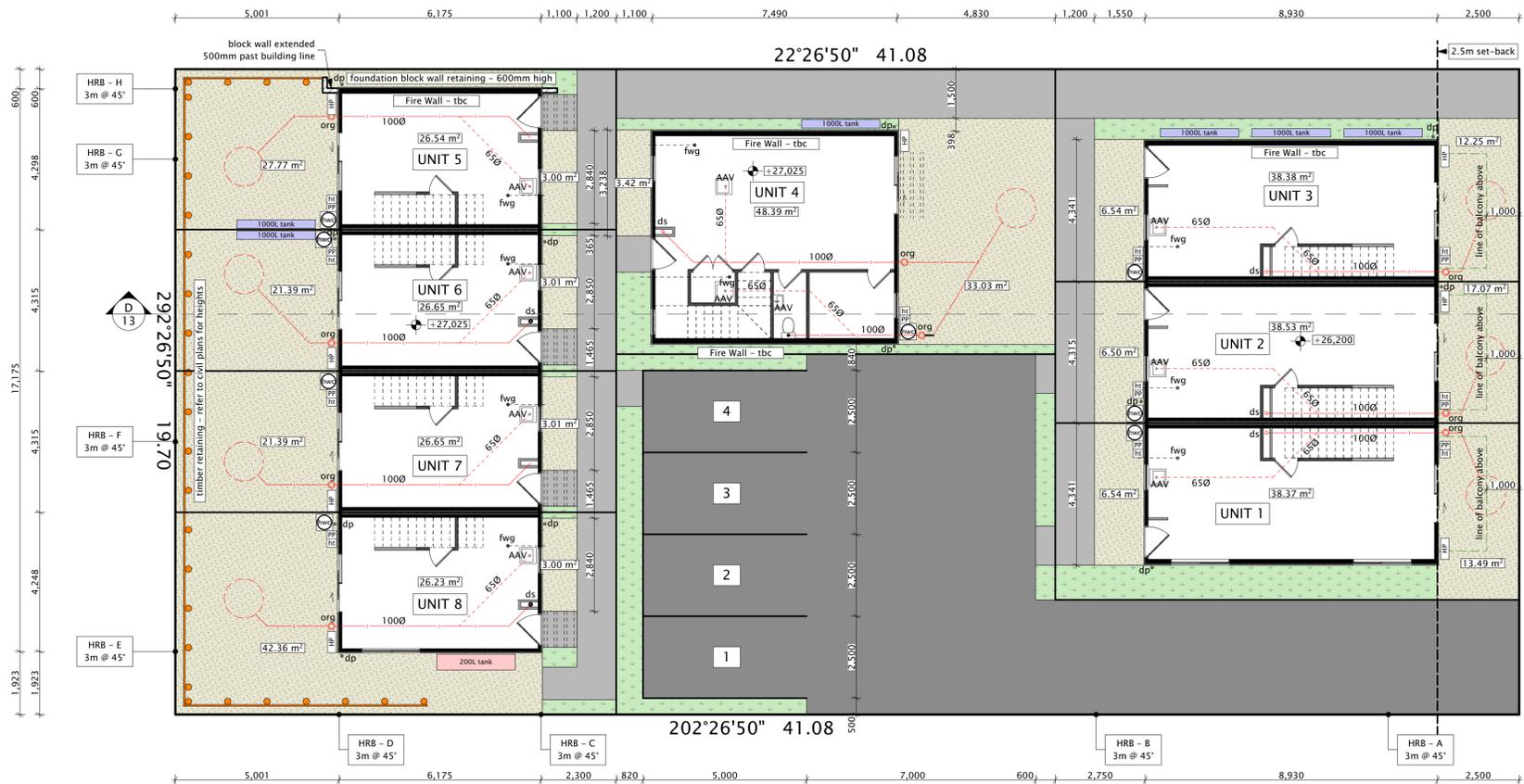
8 x New Townhouses  
Williams Corporation  
6 St Leonards Rd  
Kelston  
Auckland



New Homes – Lifestyle Homes – Beach Homes – Land and House Packages  
www.urbandesignnz.co.nz – info@urbandesignnz.co.nz – 300 Richmond Road, Grey Lynn, Auckland

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### SITE INFORMATION

Lot 9 DP 40476  
Mixed Housing Urban Zone

- DIMENSIONS:**  
- Dimension shown at to the timber framing
- SITE LIGHTING:**  
- all paths to be well lit.  
- lighting to front doors of each unit to light path.  
These lights to be on a timer for security
- GROUND LEVELS:**  
- Contractor to confirm that finished ground levels are formed to allow surface water to run away from the building.  
- min. 150mm to paved / impermeable surfaces  
- min. 225mm to permeable surfaces
- LANDSCAPING:**  
- refer to landscaping plan for fencing, surfaces and site structures.  
- landscape plan is conceptual and subject to further design development.  
- contractor to confirm all works with landscape designer and owner.
- PATHS:**  
- all paths to be concrete and have a selected slip resistance to comply with Table 2 D1/AS1  
- (broomed or exposed aggregate)
- NOTE**  
hwc piping wrapped in Allproof 4.0 pipe insulation  
- contractor to secure in trench min 300mm deep
- FS/AS1 NOTE:**  
contractor to safeguard people from injury, and other property from damage, caused by construction or demolition site hazards, as per FS/AS1.  
Construction and demolition work on buildings shall be performed in a manner that avoids the likelihood of:  
(a) objects falling onto people on or off the site,  
(b) objects falling on property off the site,  
(c) other hazards arising on the site affecting people off the site and other property, and  
(d) unauthorised entry of children to hazards on the site.  
Site Fences and Hoardings to be constructed on site during construction and is to comply with FS/AS1 1.1

LOT	AREA		BUILDING COVERAGE (max. 40% of net)	IMPERVIOUS COVERAGE (max. 60% of gross)	LANDSCAPE AREA (min. 40% of net)	FRONT YARD LANDSCAPED AREA (min. 50% of front yard area)
	GROSS	NET				
LOT 1	77m <sup>2</sup>	71m <sup>2</sup>	39.14m <sup>2</sup> (55%)	46.67m <sup>2</sup> (61%)	30.33m <sup>2</sup> (43%)	50% of 49.30m <sup>2</sup> REQUIRED = 24.65m <sup>2</sup>
LOT 2	61m <sup>2</sup>	56m <sup>2</sup>	38.91m <sup>2</sup> (69%)	42.42m <sup>2</sup> (70%)	18.58m <sup>2</sup> (33%)	
LOT 3	92m <sup>2</sup>	65m <sup>2</sup>	39.14m <sup>2</sup> (60%)	46.67m <sup>2</sup> (51%)	45.33m <sup>2</sup> (70%)	
LOT 4	117m <sup>2</sup>	97m <sup>2</sup>	49.60m <sup>2</sup> (51%)	57.21m <sup>2</sup> (49%)	59.79m <sup>2</sup> (62%)	
LOT 5	66m <sup>2</sup>	60m <sup>2</sup>	27.18m <sup>2</sup> (45%)	31.82m <sup>2</sup> (48%)	34.18m <sup>2</sup> (57%)	
LOT 6	58m <sup>2</sup>	53m <sup>2</sup>	27.02m <sup>2</sup> (51%)	30.53m <sup>2</sup> (53%)	27.47m <sup>2</sup> (52%)	
LOT 7	58m <sup>2</sup>	53m <sup>2</sup>	27.02m <sup>2</sup> (51%)	30.53m <sup>2</sup> (53%)	27.47m <sup>2</sup> (52%)	
LOT 8	83m <sup>2</sup>	83m <sup>2</sup>	26.87m <sup>2</sup> (32%)	31.47m <sup>2</sup> (38%)	51.53m <sup>2</sup> (62%)	
LOT 9	197m <sup>2</sup>	197m <sup>2</sup>	0.00m <sup>2</sup> (0%)	178.73m <sup>2</sup> (91%)	18.73m <sup>2</sup> (9.5%)	
<b>TOTAL</b>	<b>809m<sup>2</sup></b>	<b>735m<sup>2</sup></b>	<b>274.88m<sup>2</sup> (37%)</b>	<b>496.05m<sup>2</sup> (61%)</b>	<b>313.41m<sup>2</sup> (43%)</b>	<b>ACTUAL = 40.50m<sup>2</sup> (82%)</b>

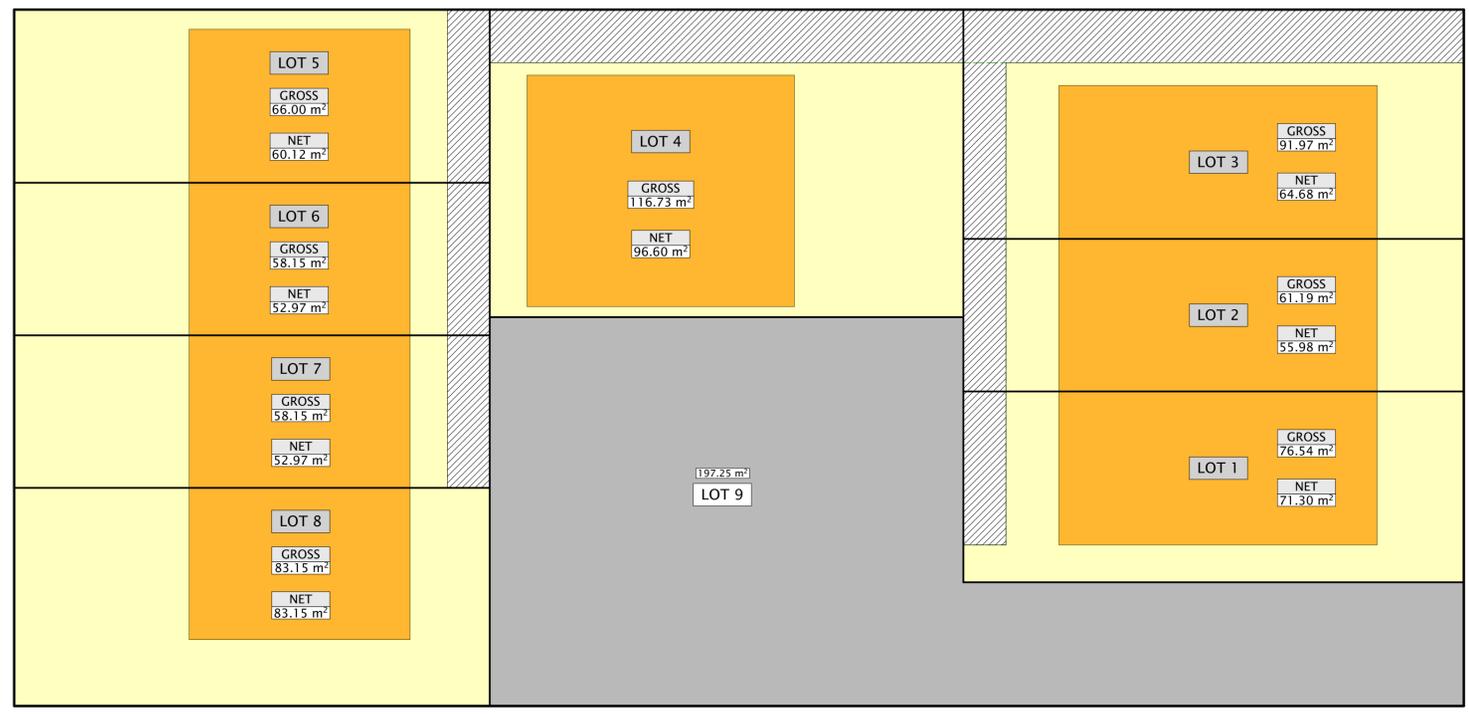
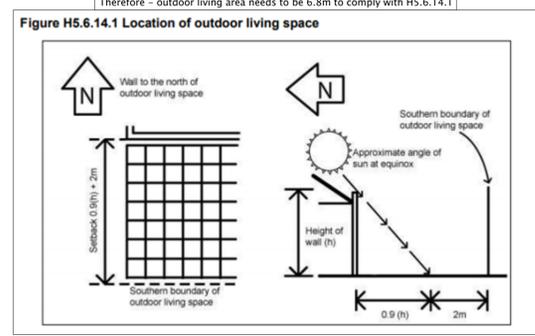
**NOTES:**  
BUILDING COVERAGE: areas shown are taken over cladding only and exclude eaves  
PERCENTAGES: All percentage calculation have been rounded.  
IMPERVIOUS COVERAGE: areas shown include eaves

Floor Area over Framing (Total - ground & first floor)	
UNIT 1	76.76m <sup>2</sup>
UNIT 2	77.06m <sup>2</sup>
UNIT 3	76.76m <sup>2</sup>
UNIT 4	96.78m <sup>2</sup>
UNIT 5	53.08m <sup>2</sup>
UNIT 6	53.30m <sup>2</sup>
UNIT 7	53.30m <sup>2</sup>
UNIT 8	52.46m <sup>2</sup>

**NOTE - TANKS**

Thin Tanks	1000L tank
2.4m L x 0.26m W x 1.85 H	
Thin Tanks	2000L tank
2.4m L x 0.48m W x 1.85 H	

**CALCULATION AS PER - Fig H5.6.14.1 - South Facing Units**  
5.3m (wall height) x 0.9m (h) = 4.77m  
Southern Facing Outdoor Living area = 5.0m  
Therefore - outdoor living area needs to be 6.8m to comply with H5.6.14.1



Proposed Site Plan 1:100 1:100

**urbandesign**  
Architectural Designers & Project Management Services

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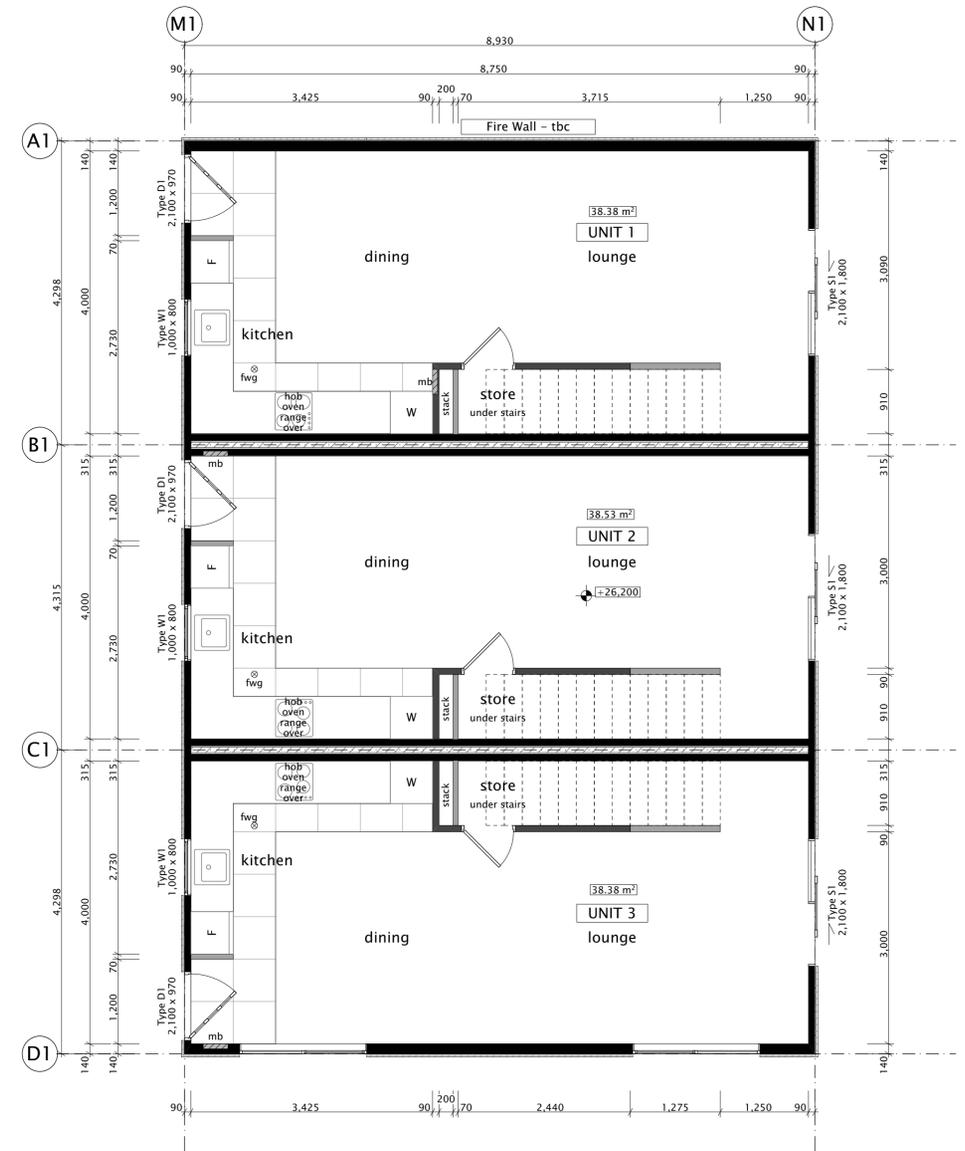
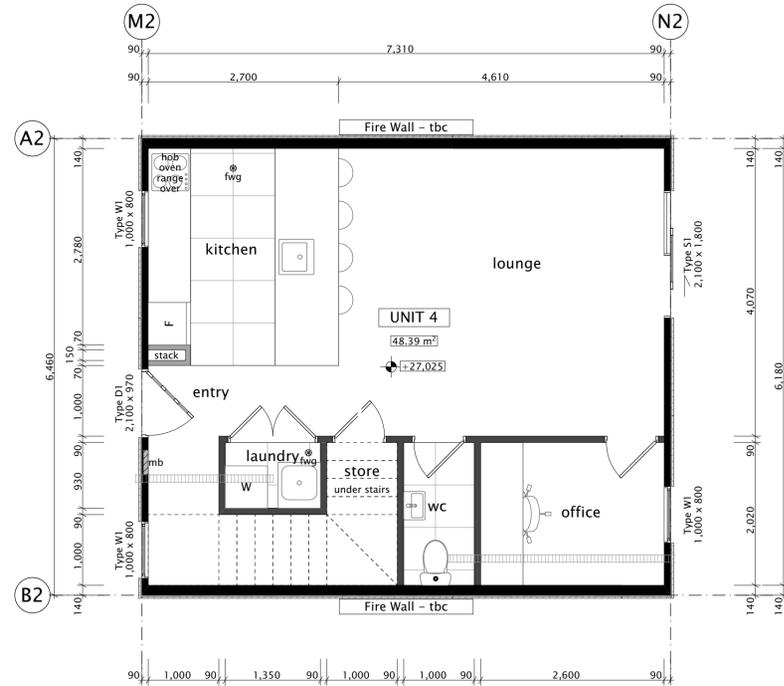
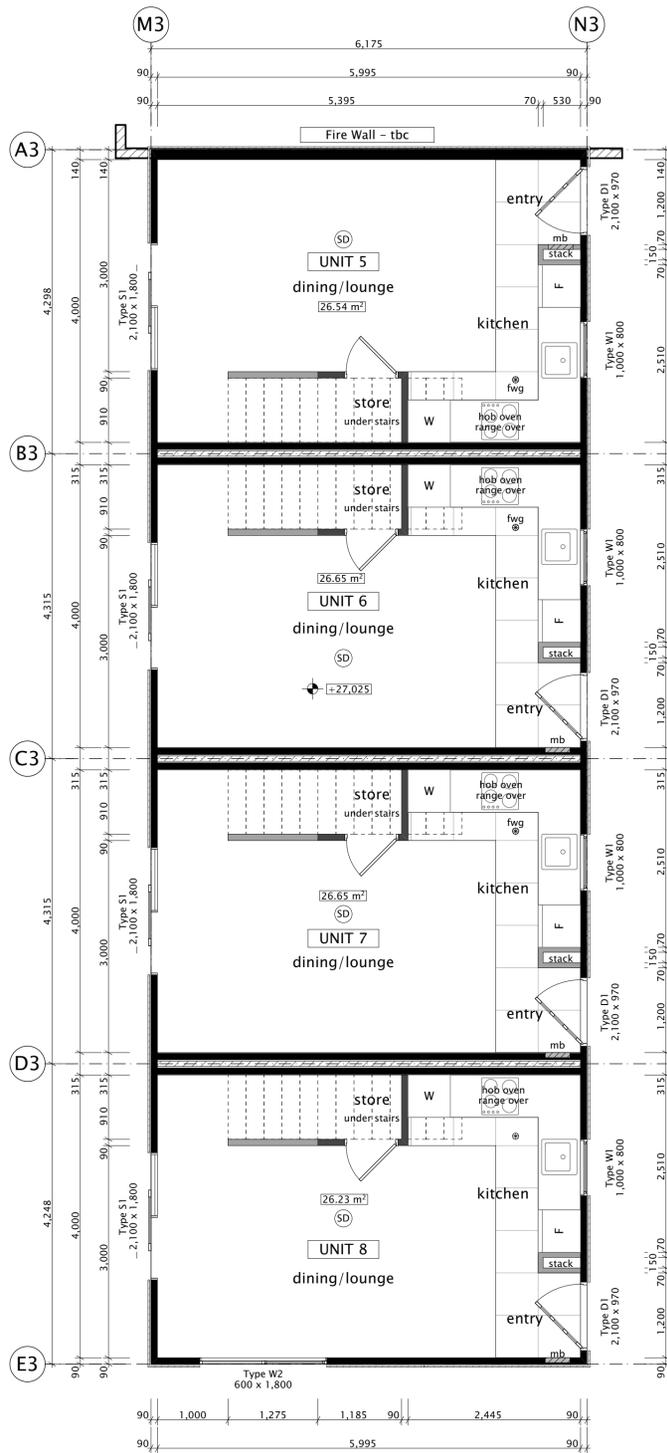
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ALL PROPOSED SED CONCRETE WORK TO BE 25 MPa

**WILLIAMS CORPORATION**

**TITLE: Proposed Site Plan**  
Client: Williams Corporation  
Address: 6 St Leonards Rd  
Kelston  
Auckland

Revision Notes:  
SW Tanks Added - 25/10/19  
RC RFI - Revised 14-Nov-19

Revision	RC RFI	Sheet
Scale:	As Shown @ A1	3
Drawn By:	CC	
Start Date:	11/09/2019	
Print Date:	4/12/2019	



Ground Floor Plans

1:50



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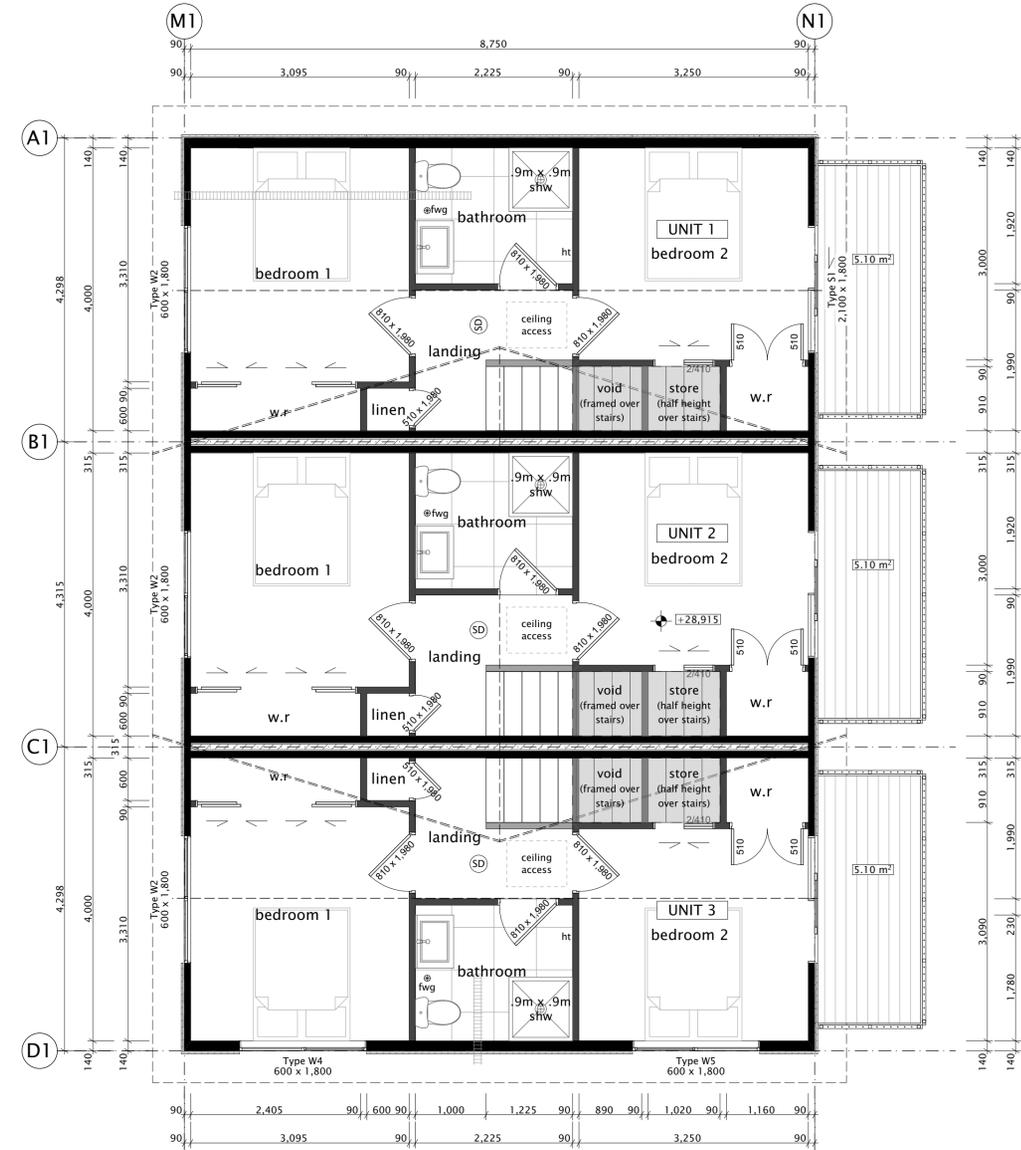
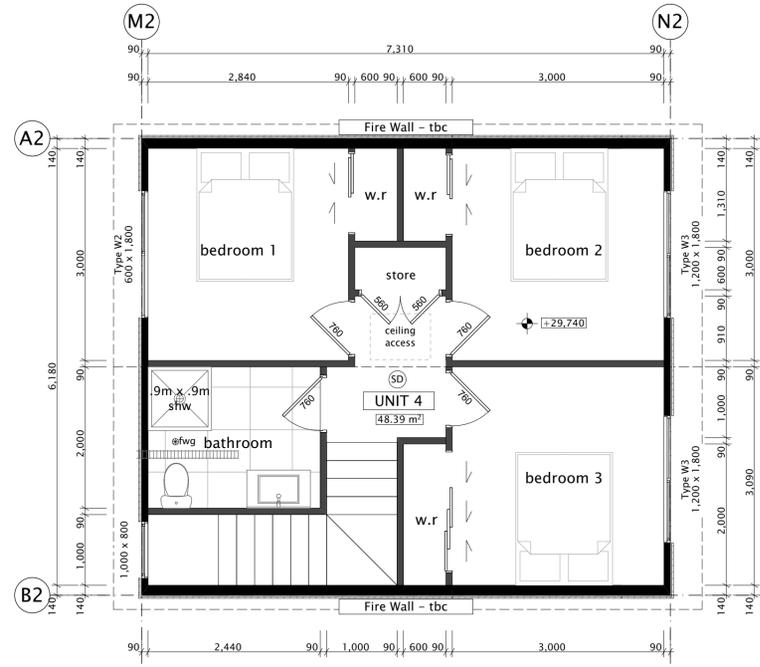
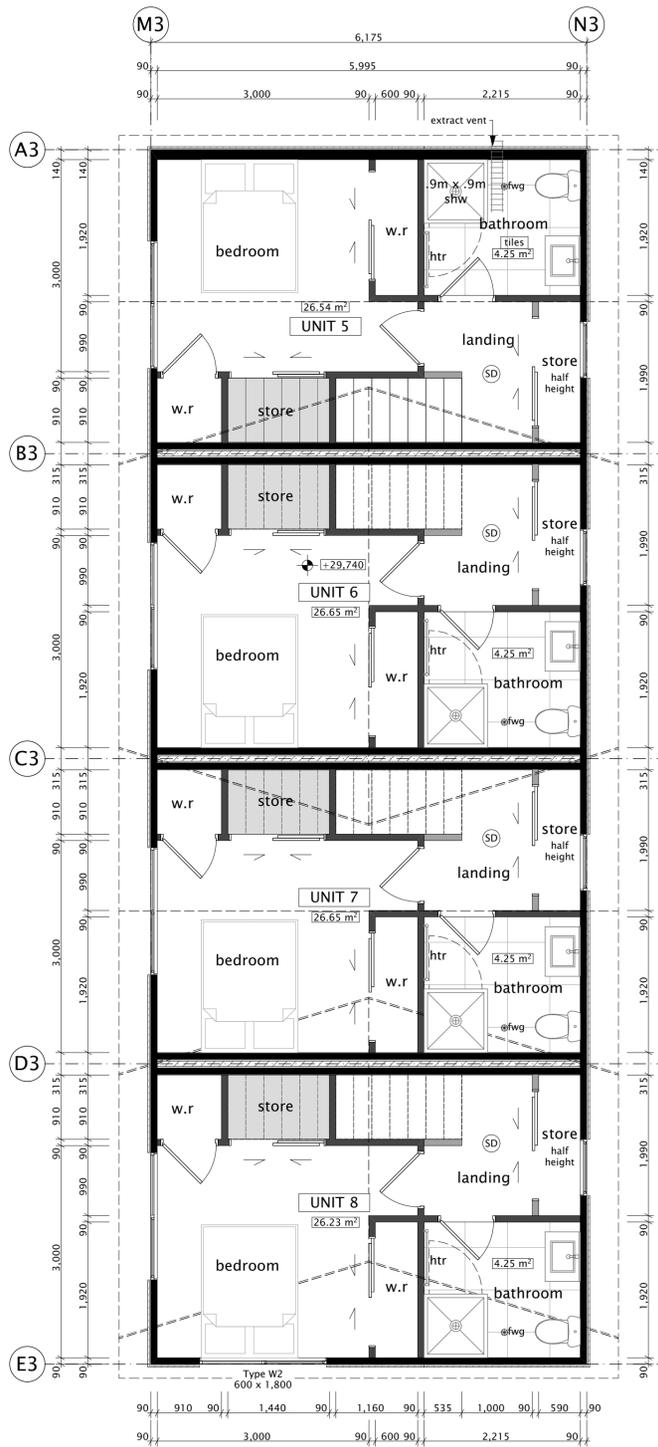
Revision **RC RFI**  
Scale: As Shown @ A1  
Drawn By: **CC**  
Start Date: **11/09/2019**  
Print Date: 4/12/2019

TITLE: Ground Floor Plans  
Client: Williams Corporation  
Address: 6 St Leonards Rd  
Kelston  
Auckland

Sheet

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First Floor Plans

1:50



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Revision **RC RFI**  
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 Drawn By: **CC**  
 Start Date: **11/09/2019**  
 Print Date: 4/12/2019

TITLE: First Floor Plans  
 Client: Williams Corporation  
 Address: 6 St Leonards Rd  
 Kelston  
 Auckland

Sheet

5





Units 1-3 North Elevation 1:50



Units 1-3 East Elevation 1:50



Units 1-3 South Elevation 1:50



Unit 1-3 West Elevation 1:50

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TITLE: Units 1-3 Elevations  
Client: Williams Corporation  
Address: 6 St Leonards Rd  
Kelston  
Auckland

Sheet  
**6**



### Standard Window Schedule

Sizes are trim or framed opening size. Clearances will be deducted from this size.  
When detailing plans please ensure windows are not tight to an internal corner cladding return.

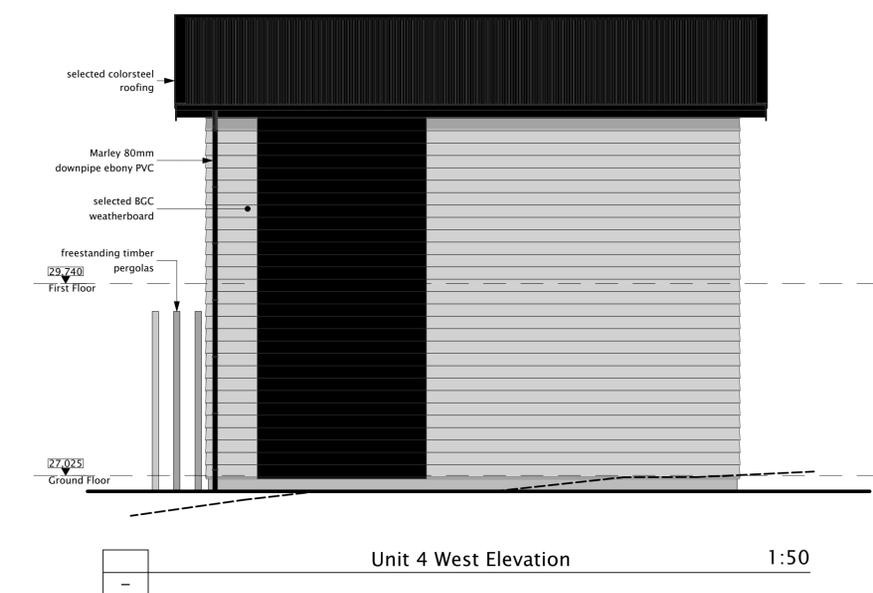
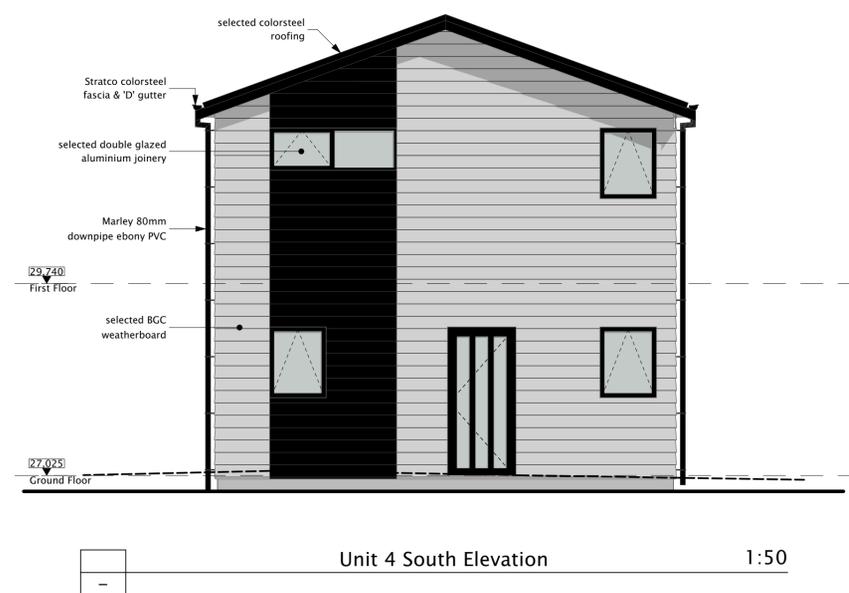
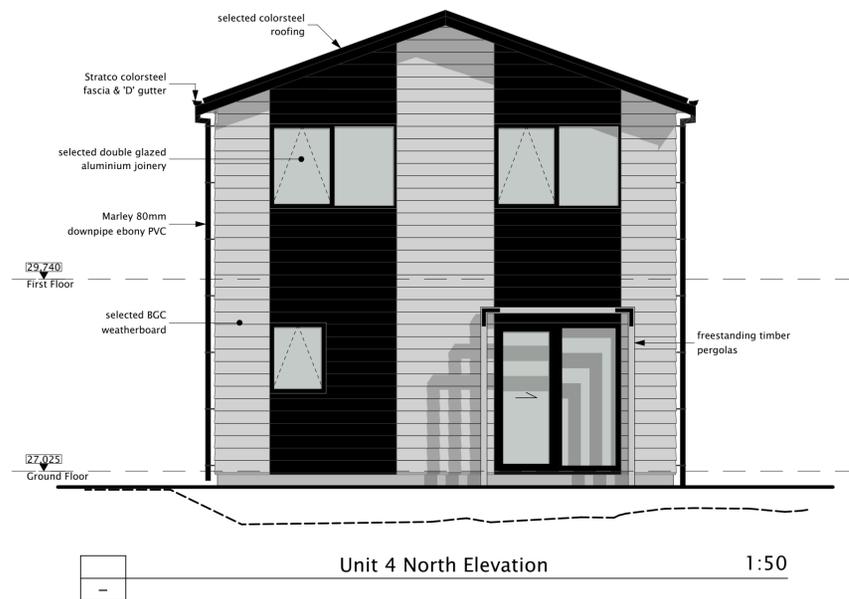
<p><b>W1</b></p> <p>1000 800</p>	<p><b>W2</b></p> <p>600 1800</p>
<p><b>W3</b></p> <p>1200 1800</p>	<p><b>W4</b></p> <p>1200 800</p>
<p><b>S1</b></p> <p>2100 1800</p>	<p><b>D1</b></p> <p>2100 970</p>

- Joinery Schedule for pricing purposes only
- All window heights & widths to be measured prior to manufacture
- All other joinery to be double glazed,
- Window configuration and sizes to be confirmed by client
- Safety glass to be used in bathroom, ensuite & wc areas
- Opaque glass to bathroom windows
- Window openings to have a net openable area of no less than 5% of the floor area

Where the possible height of fall is 1.0m or more, measured from the adjacent floor level, windows that open shall have: (for openings less than 1.0m wide)

- The lower edge of the opening no less than 760mm above floor level, or
- A window opening restrictor fitted to limit the maximum dimension of the opening to 100mm

Urban Design NZ Ltd. recommends all second storey windows are fitted with window opening restrictors



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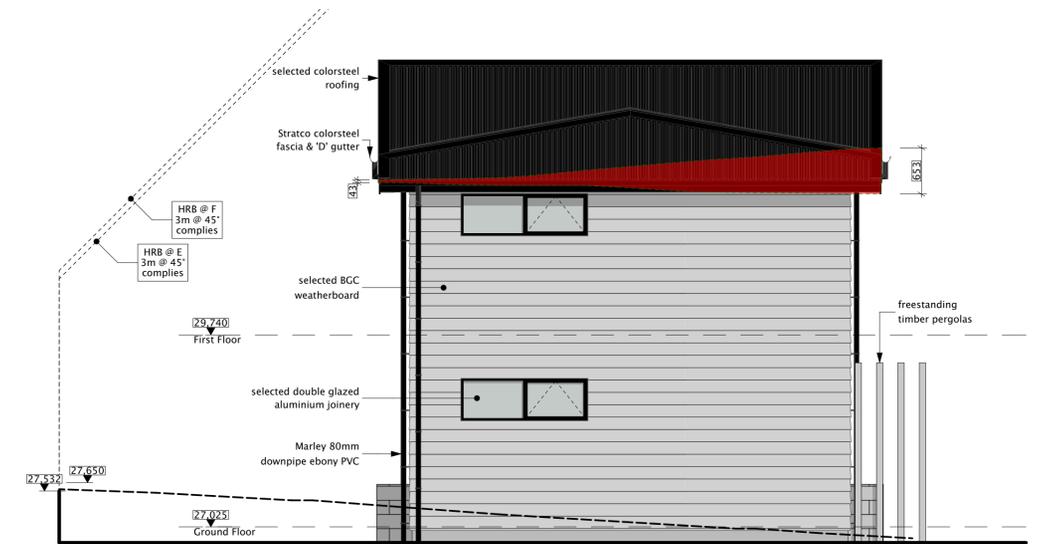
Revision	RC RF1
Scale:	As Shown @ A1
Drawn By:	CC
Start Date:	11/09/2019
Print Date:	4/12/2019

TITLE: Unit 4 Elevations	Sheet
Client: Williams Corporation	7
Address: 6 St Leonards Rd	
Kelston	
Auckland	





Units 5-8 North Elevation 1:50



Units 5-8 East Elevation 1:50



Units 5-8 South Elevation 1:50



Units 5-8 West Elevation 1:50

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Revision Notes:  
SW Tanks Added - 25/10/19  
RC RFI - Revised 14-Nov-19

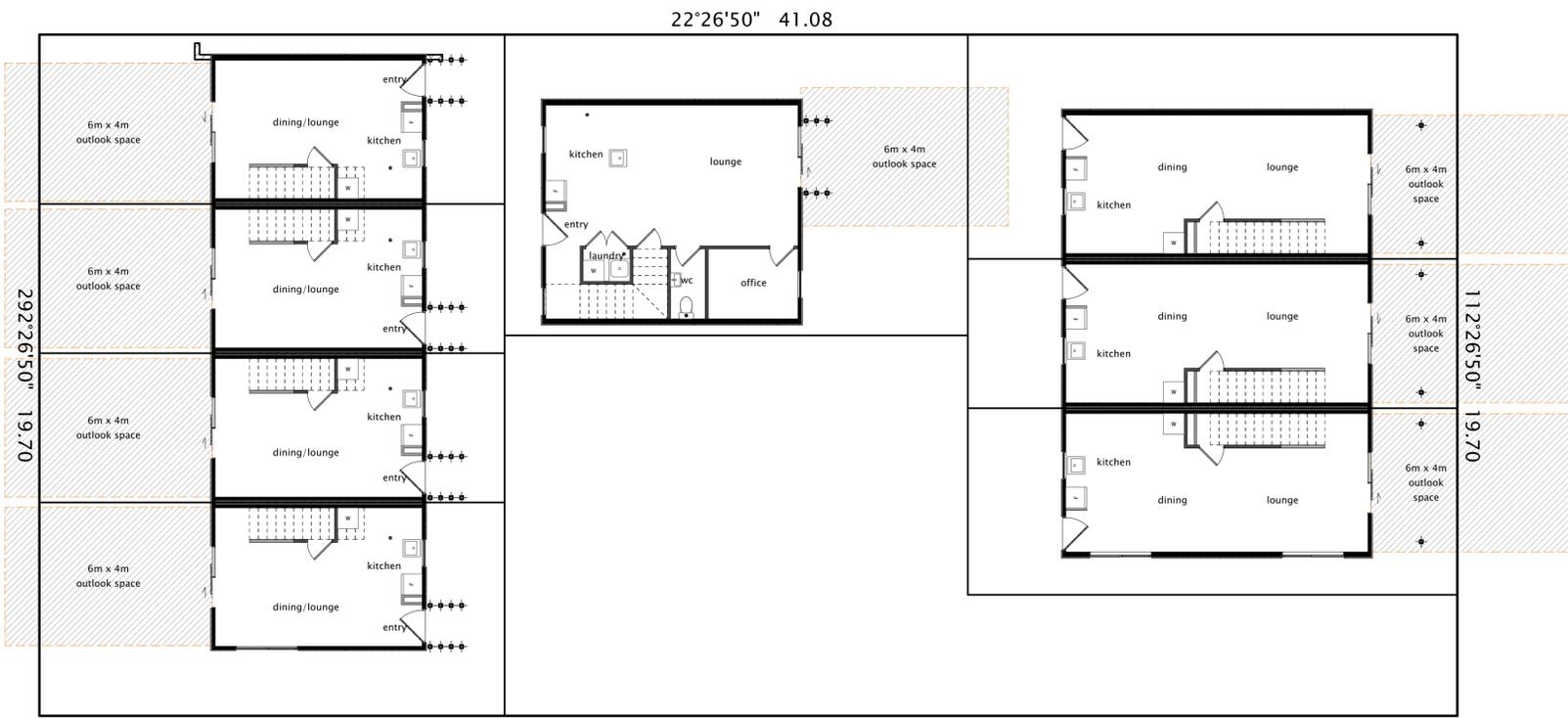
Revision **RC RFI**  
Scale: As Shown @ A1  
Drawn By: **CC**  
Start Date: 11/09/2019  
Print Date: 4/12/2019

TITLE: Units 5-8 Elevations  
Client: Williams Corporation  
Address: 6 St Leonards Rd  
Kelston  
Auckland

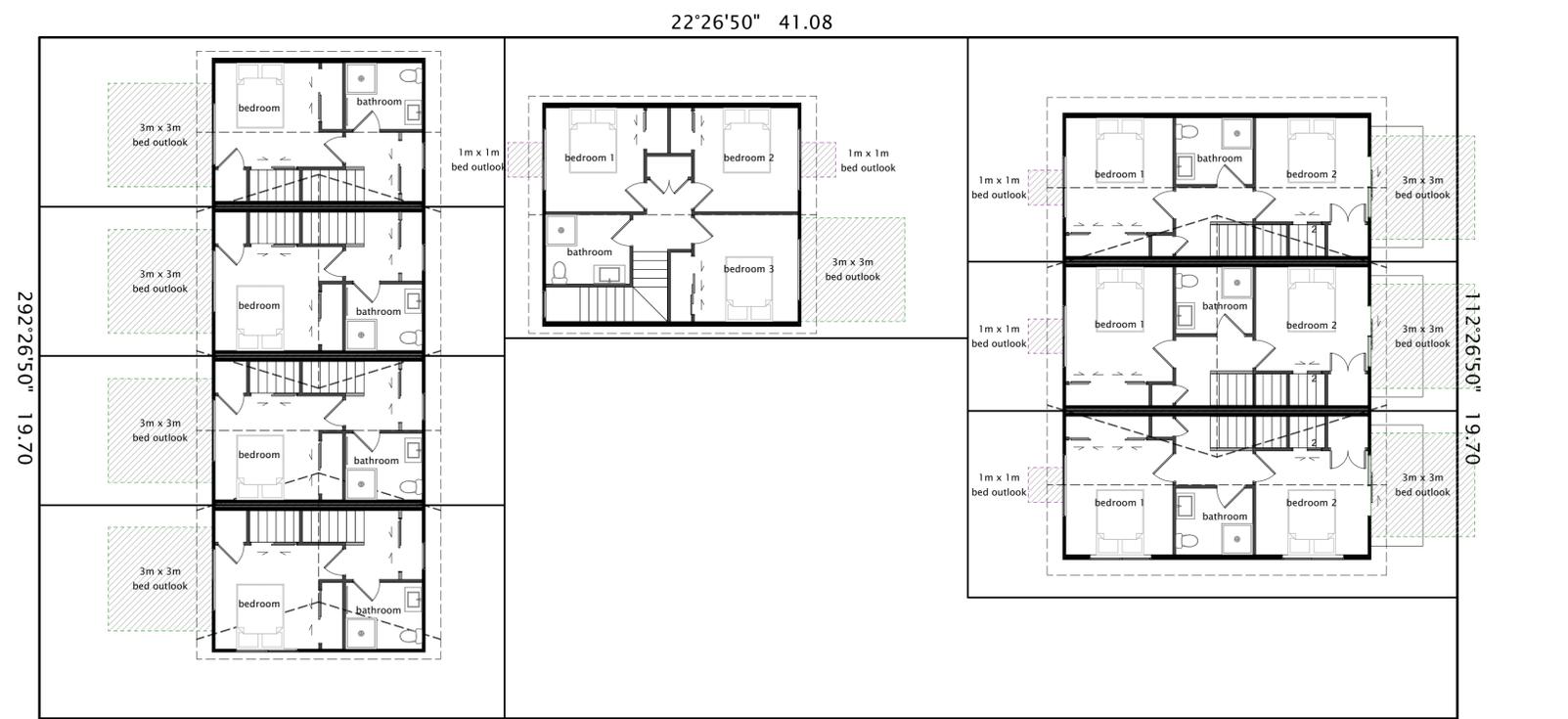
Sheet  
**8**



**SUN STUDY**  
Approximate representation for September 22



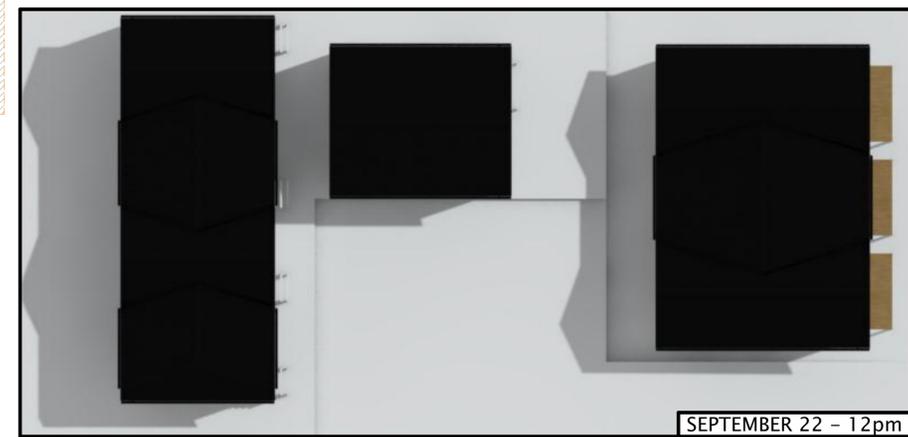
Proposed Ground Floor Outlook Spaces 1:100



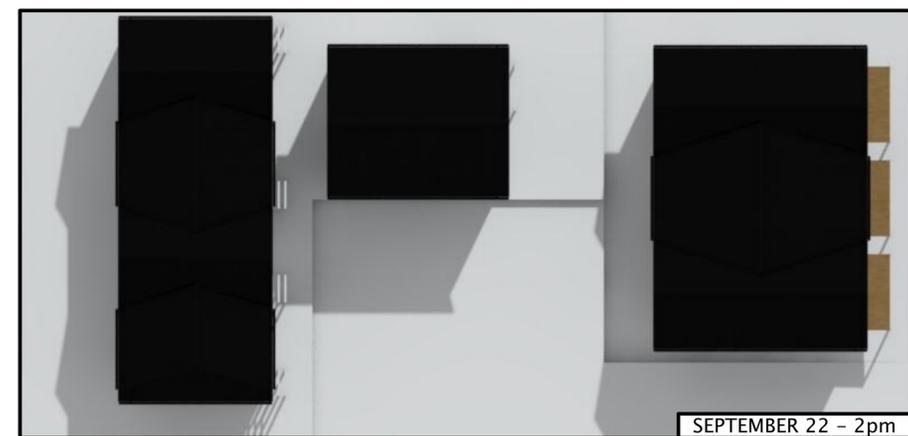
Proposed First Floor Outlook Spaces 1:100



SEPTEMBER 22 - 10am



SEPTEMBER 22 - 12pm



SEPTEMBER 22 - 2pm



SEPTEMBER 22 - 4pm



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**NOTES:**

ALL DIMENSIONS SHOWN ON DRAWINGS, COUNCIL (PUBLIC) DRAIN POSITIONS AND INVERTS SHALL BE CONFIRMED BY CONTRACTOR PRIOR TO ANY WORKS COMMENCING. NOTIFY URBAN DESIGN NZ LTD SHOULD DIMENSIONS OR POSITIONS VARY TO THAT SHOWN IMMEDIATELY.

IF GROUND CONDITIONS ARE QUESTIONABLE AND ARE NOT IN ACCORDANCE WITH NZBC OR NZS 3604:2011 REQUIREMENTS STOP WORK AND CONTACT DESIGNER IMMEDIATELY.

SHOULD THERE BE ANY AMBIGUITY ON THE DRAWINGS AND/OR ACCOMPANYING DOCUMENTATION, OR THE MEANING(S) IS(ARE) UNCLEAR OR IF THERE IS APPARENT CONFLICTING INFORMATION SHOWN, IMMEDIATELY NOTIFY URBAN DESIGN NZ LTD BEFORE COMMENCING THE WORK.

ROOF TRUSS AND BRACING IS INDICATIVE ONLY AND SHALL BE DESIGNED AND DETAILED BY APPROVED GANGNAIL TRUSS MANUFACTURER IN ACCORDANCE WITH GANG-NAIL NZ LIMITED NZ500 AND NZS 3604 : 2011

FOR WIND BRACING AND TYPE REFER TO ADJOINING SPECS LINTELS TO BE 24% MAX MOISTURE CONTENT .TIMBER SIZES AS PER NZS 3604 : 2011

KITCHEN JOINERY MANUFACTURER SHALL TAKE ' ON SITE ' MEASUREMENTS PRIOR TO FABRICATION.  
FOR KITCHEN LAYOUT AND JOINERY REFER TO KITCHEN MANUFACTURERS DOCUMENTS.

ALL GLASS TO BE AS PER NZS 4223 (PART 3 IN PARTICULAR) ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE NZBC HAND BOOK AND APPROVED DOCUMENTS ,NZS 3604 : 2011 AND LOCAL TERRITORIAL AUTHORITY REQUIREMENTS.

WINDOW MANUFACTURERS SHALL CHECK ' ON SITE ' ALL WINDOW OPENING SIZES PRIOR TO FABRICATION.

ALL PLUMBING AND DRAINAGE WORK SHALL BE IN ACCORDANCE WITH NZBC REQUIREMENTS AND APPROVED DOCUMENTS. VENTILATION TO FOUNDATION WALLS TO COMPLY TO NZS 3604 SECTION 4.8.

ALL PROPOSED SED CONCRETE WORK TO BE 25 MPa



**TITLE: Outlook Space Plans & Sun Study**

Client: Williams Corporation  
Address: 6 St Leonards Rd  
Kelston  
Auckland

**Revision Notes:**

SW Tanks Added - 25/10/19  
RC RFI - Revised 14-Nov-19

Revision	RC RFI	Sheet
Scale:	As Shown @ A1	<b>9</b>
Drawn By:	CC	
Start Date:	11/09/2019	
Print Date:	4/12/2019	