

1 Perspective View

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Revision
 Scale A1 page size (Half scale @ A3)
 Issue Date 09/02/19
 Time Stamp 17/01/2020 10:10:39 am

Page Title Cover Sheet
 Project Cambridge Units
 Address 176 Cambridge Tce
 Fairfield, Lower Hutt

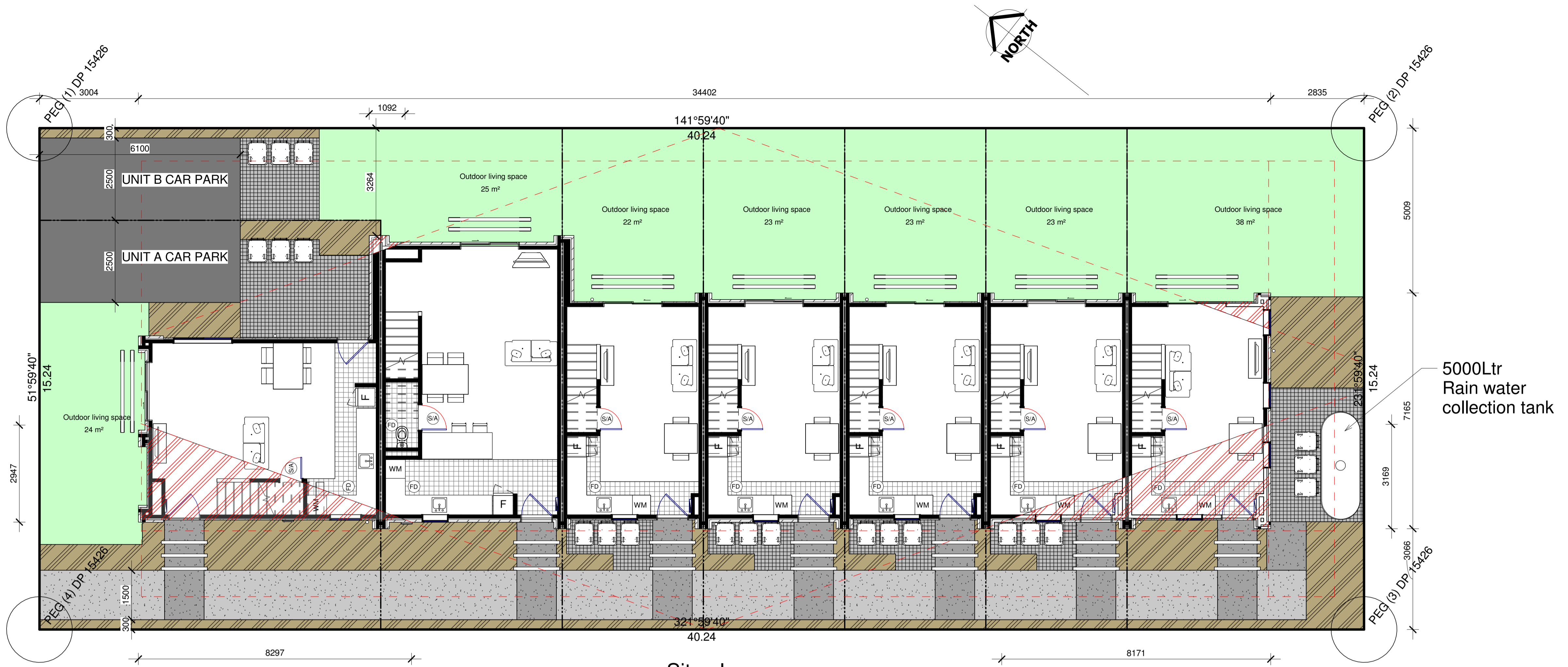
Sheet
A1.0

Total (Roof Areas)	
Name	Area
Roof Area Units A&G	264 m ²
	264 m ²

Unit Area Schedules (Over Cladding)		
Level	Name	Area
Ground Floor	Unit A	41.2 m ²
Ground Floor	Unit B	47.1 m ²
Ground Floor	Unit C	29.4 m ²
Ground Floor	Unit D	29.2 m ²
Ground Floor	Unit E	28.8 m ²
Ground Floor	Unit F	29.2 m ²
Ground Floor	Unit G	29.4 m ²
Ground Floor		234.3 m ²
1st Floor	Unit A	41.2 m ²
1st Floor	Unit B	47.1 m ²
1st Floor	Unit C	29.4 m ²
1st Floor	Unit D	29.2 m ²
1st Floor	Unit E	28.8 m ²
1st Floor	Unit F	29.2 m ²
1st Floor	Unit G	29.4 m ²
1st Floor		234.3 m ²
Grand total		468.7 m ²

Lot Schedule	
Name	Area
Lot 1	129 m ²
Lot 2	113 m ²
Lot 3	65 m ²
Lot 4	65 m ²
Lot 5	65 m ²
Lot 6	65 m ²
Lot 7	110 m ²
Grand total	613 m ²

Site Area key	
Type	Area
Concrete Pathway_Dark	28 m ²
Concrete Pathway_Light	45 m ²
Drive way	30 m ²
Landscape areas	64 m ²
Outdoor living space	178 m ²
Service space	43 m ²
Grand total: 37	387 m ²



1 Site plan
1 : 75

LOT	Unit footprint over cladding	AREA		BUILDING COVERAGE (Max 40% of net)	IMPERVIOUS COVERAGE (max. 60% of gross)		LANDSCAPE AREA (min. 40% of net)		FRONT YARD LANDSCAPE AREA (min. 50% of front yard area)	
		GROSS	NET							
Lot 1	41.2 m ²	129.01 m ²	110.53 m ²	41.2 m ² 37.3%	56.2 m ² 43.6%	54.3 m ² 49.2%				
Lot 2	47.1 m ²	113.01 m ²	103.1 m ²	47.1 m ² 45.7%	62.1 m ² 55.0%	56.0 m ² 54.3%				
Lot 3	29.4 m ²	65.38 m ²	57.66 m ²	29.4 m ² 51.0%	29.4 m ² 45.0%	28.3 m ² 49.0%				
Lot 4	29.2 m ²	65.38 m ²	57.66 m ²	29.2 m ² 50.6%	29.2 m ² 44.7%	28.5 m ² 49.4%				
Lot 5	28.8 m ²	65.38 m ²	57.68 m ²	28.8 m ² 49.9%	28.8 m ² 44.1%	28.9 m ² 50.1%				
Lot 6	29.2 m ²	65.38 m ²	57.68 m ²	29.2 m ² 50.6%	29.2 m ² 44.7%	28.5 m ² 49.4%				
Lot 7	29.4 m ²	111.25 m ²	111.25 m ²	29.4 m ² 26.4%	29.4 m ² 26.4%	81.9 m ² 73.6%				
Total	234.3 m ²	614.79 m ²	614.79 m ²	234.3 m ² 44.5%	234.3 m ² 43.3%	306.3 m ² 53.6%	Actual	25.95 m ² 56.8%		

Notes : BUILDING COVERAGE: areas shown are taken over the wall framing only and exclude cladding and eaves
PERCENTAGES: All percentage calculation have been rounded.

SCOPE OF WORKS:
COUNCIL:
ZONE : General Residential - Medium Density Overlay
HEIGHT (max. 8m) : COMPLIANT
SETBACKS : Road Boundary
RECESSION PLANES : 2.5 + 45 degrees

ZONES NZS 3604:2011: (Taken from Branz Maps)
Legal Description: Lot 176 DP 15426
Address: 176 Cambridge Terrace Fairfield
Earthquake Zone: Zone 3
Corrosion Zone: Zone C
Climate Zone: 2
Wind Region: W
Lea Zone:
Rainfall Intensity (range): 60 - 70
Wind Zone (Experimental): High

AREAS:
ROOF AREA : 264m²
PERGOLA AREA : (0.25x14) + (0.14x21) = 6.44m²
GARDEN SHEDS : (7x(1.53x.79)) = 8.46m²
TOTAL BUILDING : 278.9m²
TOTAL SITE FOR BLOCK : 613m²
SITE COVERAGE : 45.4%

SET OUT NOTES:
Contractor must independently verify all boundaries and dimensions prior to set out.
All set out dimensions are in horizontal plane and do not take into account varying ground levels.

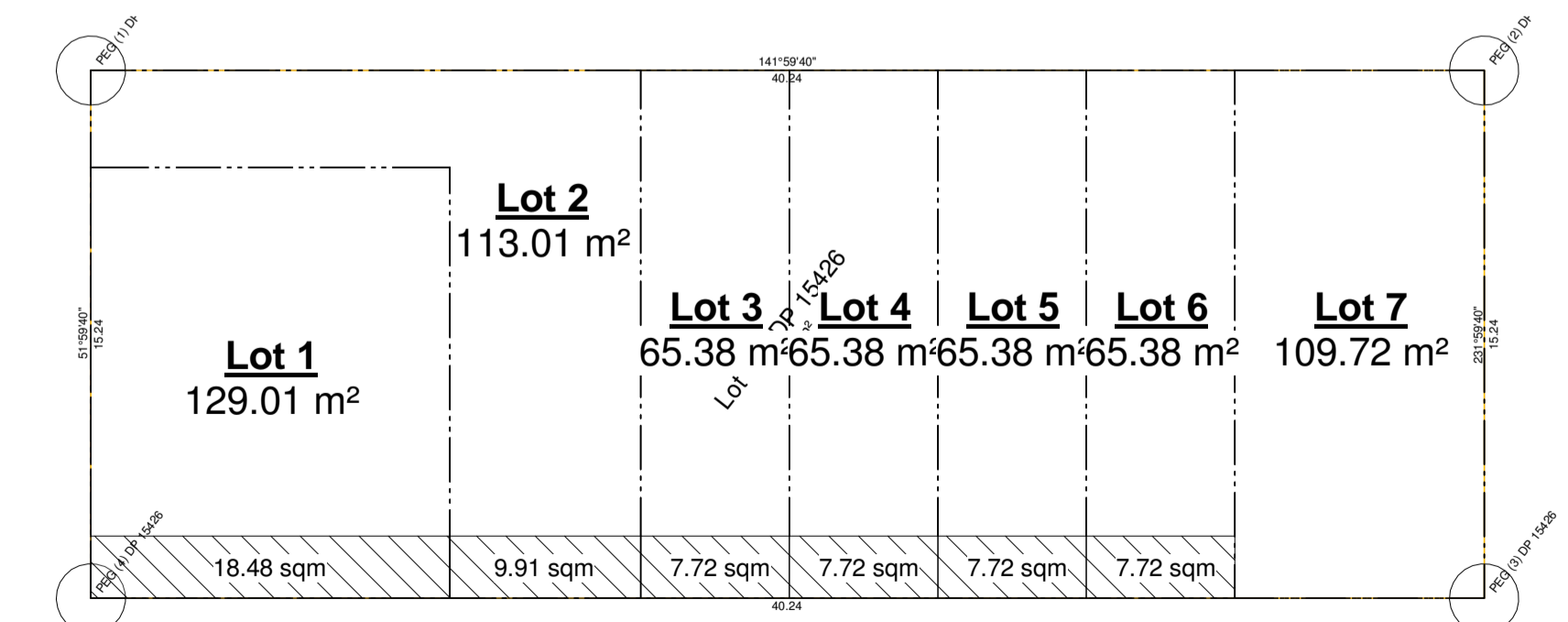
HAZARD:
New construction area to be fully fenced before commencing construction. All work to comply with NZBC clause F5/AS1 part 1.

EROSION AND SEDIMENT CONTROL:
All erosion and sediment control measures to be installed prior to commencement of earthworks to comply with Erosion and Sediment Control Guidelines for Small Sites.
The contractor is responsible for checking that the sediment controls are properly maintained and correctly positioned. To be inspected each working day and maintained in good working order.
Top soil stockpile should be close to works, limit amount of material supplied to only what is needed. Cover stock piles with waterproof covers.
All stockpiles and site waste are to be stored so that the silt fence/ straw bales will control any run off from the site.
Physically remove any sedimentation from the driveway and/or street. Do not wash into catchpits. If necessary use Filtrix Sock or similar around catch pits.
Stabilise disturbed ground as soon as practical.
The silt fence/ straw bales is to remain in place until site surface is grassed or stabilised.

All weather site access to consist of 150x200mm of crushed aggregate on geotextile filter cloth with 2m bund run off diversion @ site entry. All with cross slope to drain to sediment trap (where applicable).

Footpaths to comply with antislip requirements of NZBC D1/AS1 table 2

Site Areas	
Total Site Area	613
Building coverage over cladding	235
Permeable / Landscape (gardens / paths / outdoor living)	357
Impermeable (carparks / roof area)	294
	48%



2 Boundary Plan
1 : 200

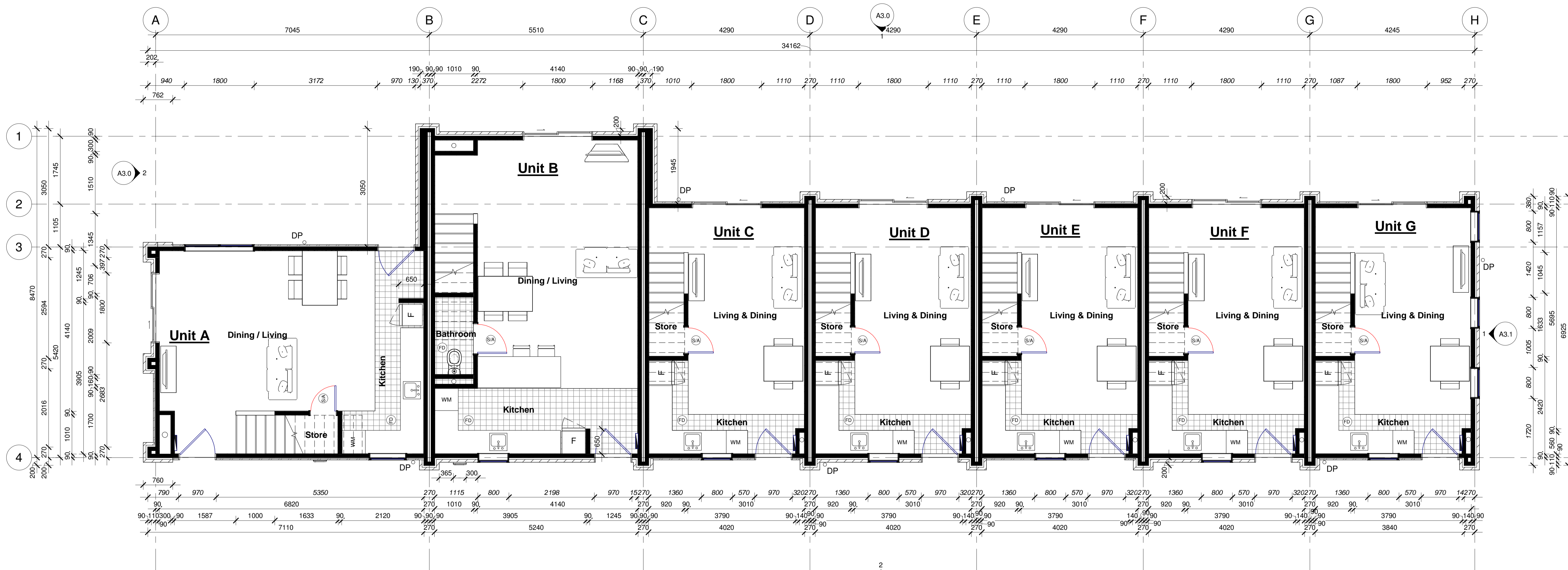
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Revision
Scale A1 page size (Half scale @ A3)
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Page Title Site Plan
Project Cambridge Units
Address 176 Cambridge Tce Fairfield, Lower Hutt

A1.1



1 Ground Floor Units A & G
1 : 50

Ground Floor Area's			
Name	Area Over Cladding	Over Plate Area	Nett Area
Unit A	41 m ²	38 m ²	35 m ²
Unit B	47 m ²	46 m ²	42 m ²
Unit C	29 m ²	28 m ²	25 m ²
Unit D	29 m ²	28 m ²	25 m ²
Unit E	29 m ²	28 m ²	25 m ²
Unit F	29 m ²	28 m ²	25 m ²
Unit G	29 m ²	28 m ²	25 m ²
	234 m ²		

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 Scale A1 page size (Half scale @ A3)
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Page Title Unit A to G Ground Floor Plans
 Project Cambridge Units
 Address 176 Cambridge Tce
 Fairfield, Lower Hutt

Sheet
A2.0



1 1st Floor Units A & G
1 : 50

Upper Floor Area's	
Name	Area Over Cladding	Over Plate Area	Nett Area
Unit A	41 m ²	38 m ²	35 m ²
Unit B	47 m ²	46 m ²	42 m ²
Unit C	29 m ²	28 m ²	25 m ²
Unit D	29 m ²	28 m ²	25 m ²
Unit E	29 m ²	28 m ²	25 m ²
Unit F	29 m ²	28 m ²	25 m ²
Unit G	29 m ²	28 m ²	25 m ²
	234 m ²		

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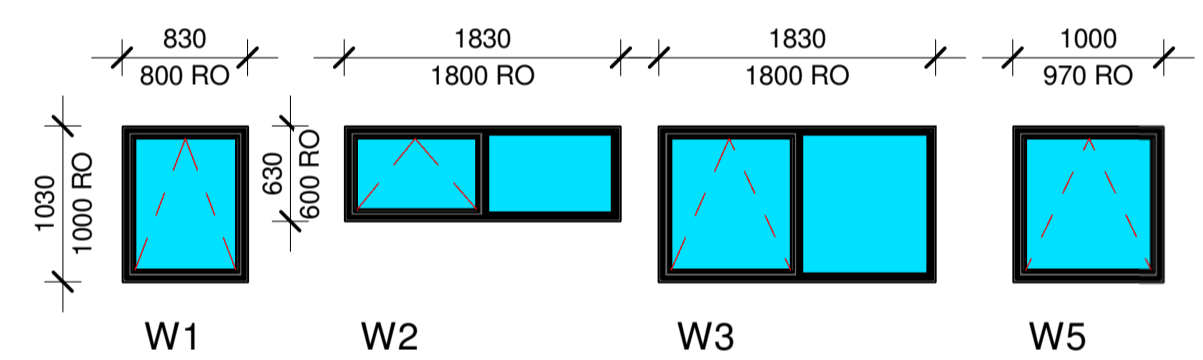
Revision	
Scale	A1 page size (Half scale @ A3)
Issue Date	12/17/19
Time Stamp	17/01/2020 10:10:44 am

Page Title	Unit A to G 1st Floor Plans
Project	Cambridge Units
Address	176 Cambridge Tce Fairfield, Lower Hutt

Sheet
A2.1

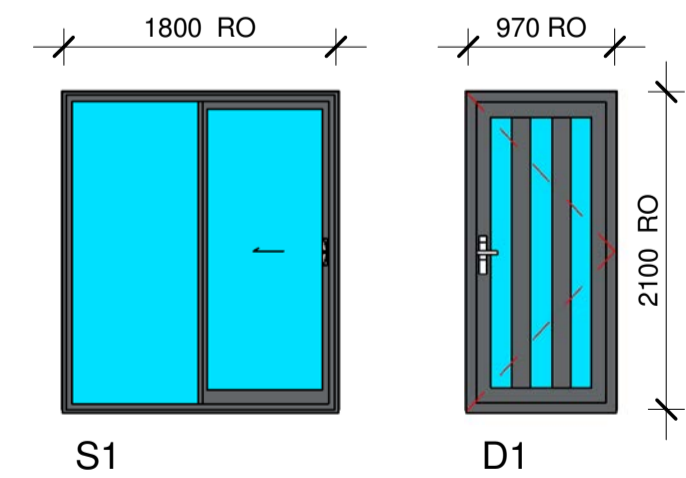


1 North East Elevations
1 : 50



Viewed from outside
RO sizes take precedence over other sizes
Wet area glazing to be safety glass

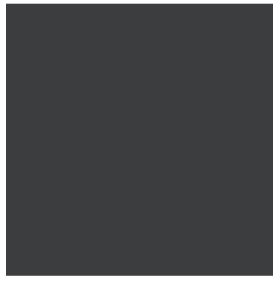

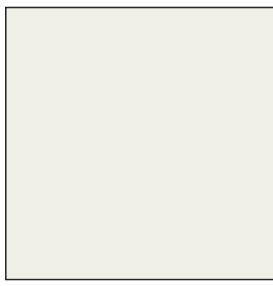

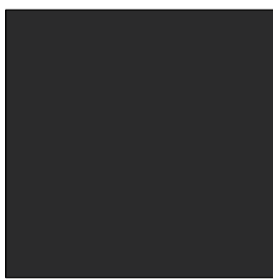

Window Schedule					
Model	Height	Width	Rough Opening (Height)	Rough Opening (Width)	Count
W1	1030	830	1000	800	13
W2	1030	1000	1000	970	9
W3	1030	1830	1000	1800	10
W5	1030	1000	1000	970	2
Grand total:					34

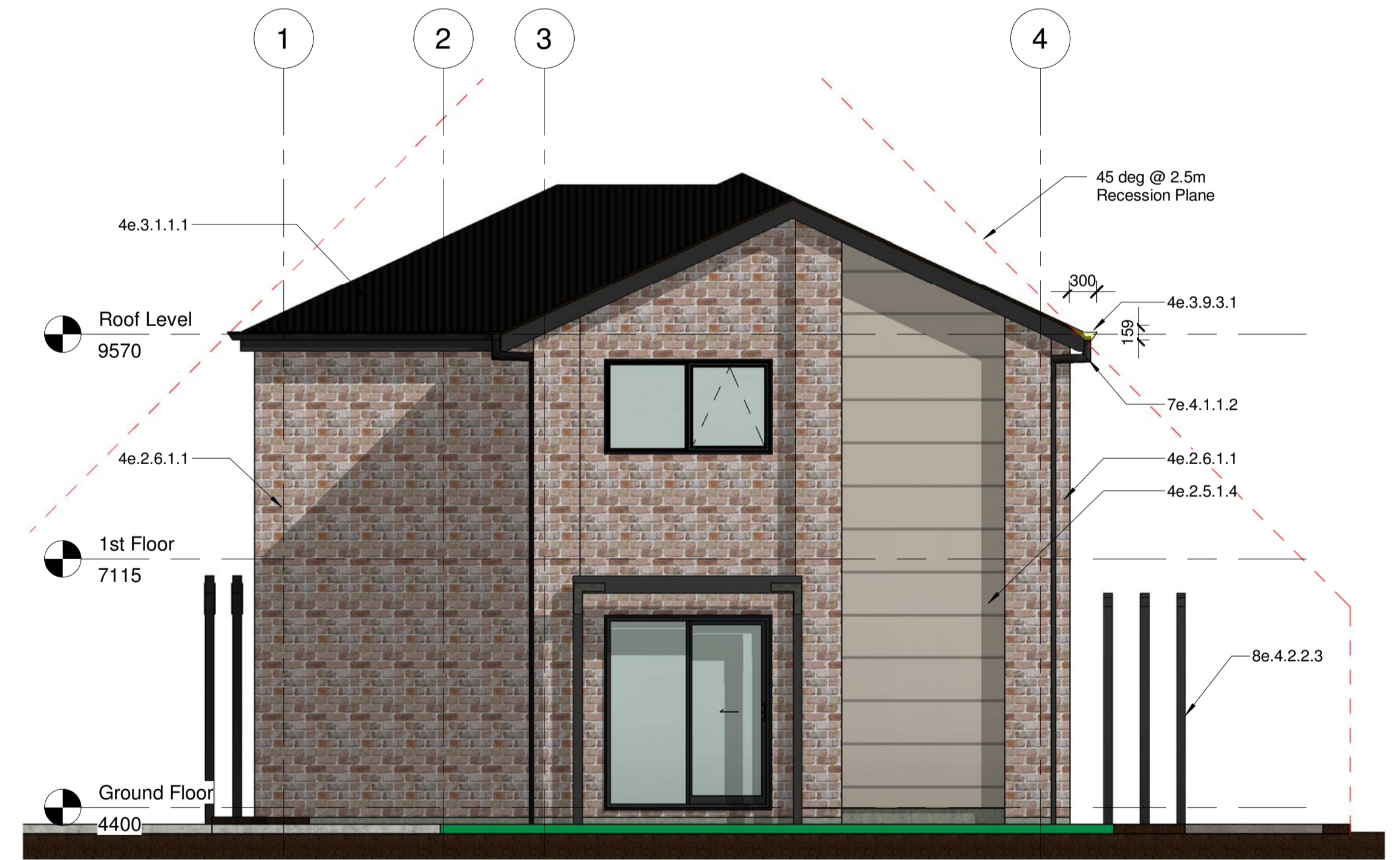


Viewed from outside
RO sizes take precedence over other sizes
Slider to be safety glass

Door Schedule					
Model	Height	Width	Rough Height	Rough Width	Count
D1	2110	990	2100	970	8
S1	2110	1820	2100	1800	7
Grand total:					15



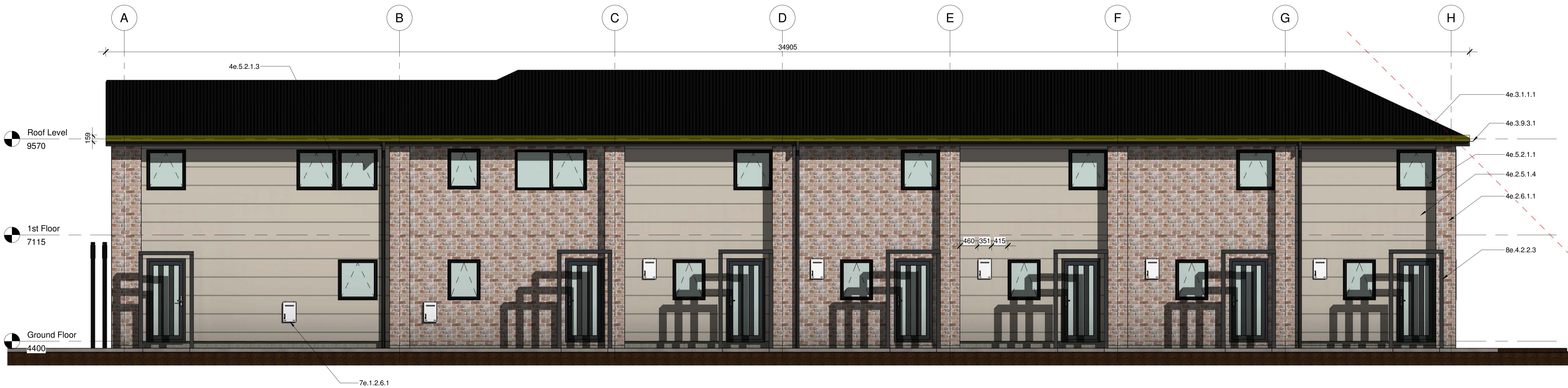
	"Black / Ebony" Roof, Fascia, Gutter Downpipes		The Brickery (Main Cladding) Brick "Reclaimed"
	"Resene Half Black White" Soffits RGB 240 238 234 LVR 86		BGC 300mm Stratum Weatherboard (Feature) "Mocha"
	Pergola features Timber painted black Galvanized steel brackets painted black		"Matt Black" Windows, Front Door LRV 04% RGB 43 43 44



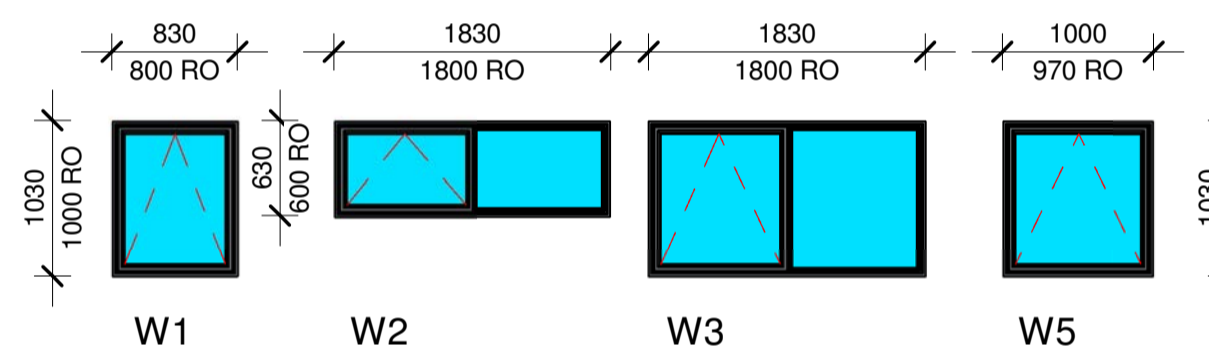
2 North West Elevations
1 : 50

Elevation Keynote Legend	
Key Value	Keynote Text
4e.2.5.1.4	BGC Stratum weatherboards installed horizontally. 300mm wide board
4e.2.6.1.1	Selected 70 series brick veneer cladding
4e.3.1.1.1	Selected coloursteel longrun roofing
4e.3.9.3.1	Selected coloursteel fascia and gutter
4e.5.2.1.1	Selected double glazed powder coated aluminium joinery
4e.5.2.1.3	Aluminium powdercoated colour matched flashing between windows
7e.1.2.6.1	Infinity external gas water heater
7e.4.1.1.2	Selected PVC downpipes sealed to risers to charge water tanks
8e.4.2.2.3	Laminated timber pergola frames. Free standing and painted with metal corner L brackets

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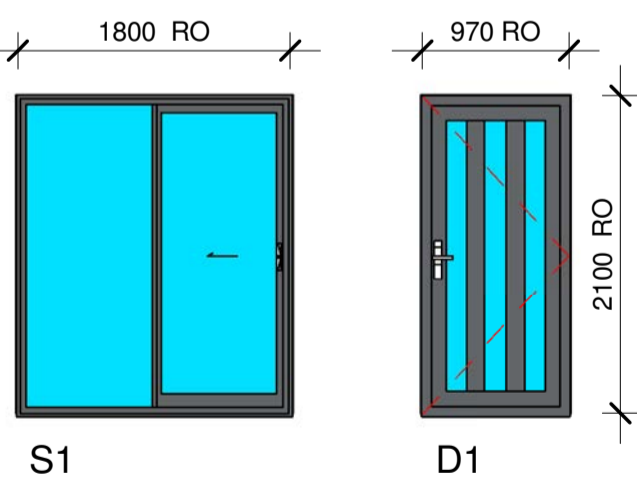


2 South West Elevations
1 : 50



Viewed from outside
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Wet area glazing to be safety glass

Window Schedule					
Model	Height	Width	Rough Opening (Height)	Rough Opening (Width)	Count
W1	1030	830	1000	800	13
W2	1030	1000	1000	970	9
W3	1030	1830	1000	1800	10
W5	1030	1000	1000	970	2
Grand total: 34					34

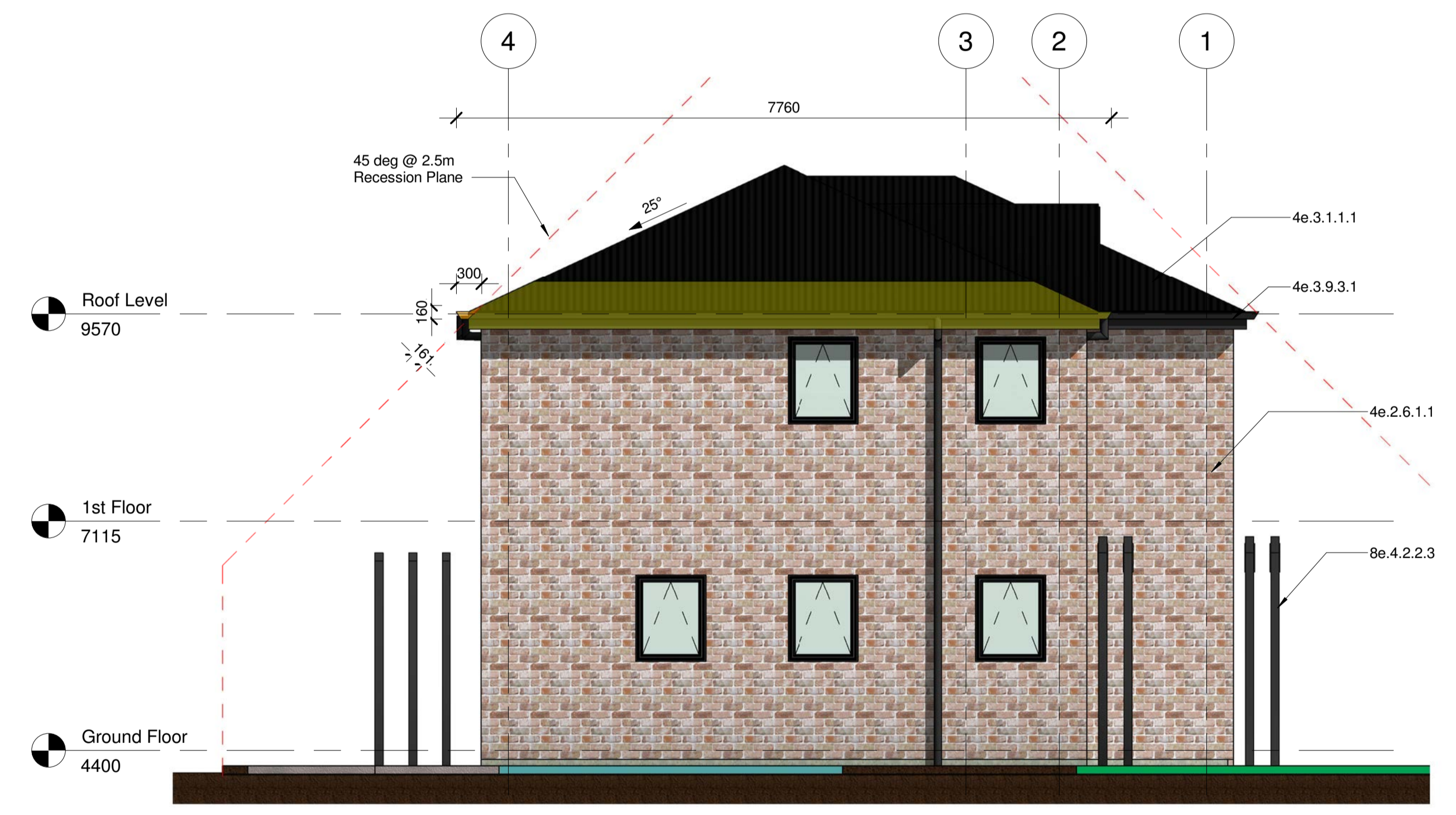


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Grand total: 15					15



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1 : 50

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Revision	
Scale	A1 page size (Half scale @ A3)
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Page Title	Elevations Units A to G	Sheet	
Project	Cambridge Units	A3.1	
Address	176 Cambridge Tce Fairfield, Lower Hutt		